AGENDA
PLANNING COMMISSION MEETING
CITY OF SHOREVIEW

DATE: **MAY 24, 2016**
TIME: **7:00 PM**
PLACE: **SHOREVIEW CITY HALL**
LOCATION: **4600 NORTH VICTORIA**

1. **CALL TO ORDER**
   ROLL CALL
   Approval of agenda

2. **APPROVAL OF MINUTES**
   April 26, 2016
   Brief Description of Meeting Process – Chair John Doan

3. **REPORT ON CITY COUNCIL ACTIONS:**
   Meeting Date: May 2, 2016 and May 16, 2016

4. **NEW BUSINESS**

   A. PUBLIC HEARING – CONDITIONAL USE PERMIT
   FILE NO: 2614-16-13
   APPLICANT: Matthew & Rachel Karel
   LOCATION: 863 *Tanglewood Drive*

   B. PUBLIC HEARING – REZONING, VARIANCE
   FILE NO: 2618-16-17
   APPLICANT: Max Segler
   *LOCATION***:** *033023420001 Sunview Court*

   C. SITE & BUILDING PLAN REVIEW / COMPREHENSIVE SIGN PLAN
   FILE NO: 2615-16-14
   *APPLICANT***:** *NABC (North American Banking) / Sidal Realty Corp.*
   LOCATION: *4XX West Hwy 96*

   D. RESIDENTIAL DESIGN REVIEW / VARIANCE
   FILE NO: 2617-16-16
   APPLICANT: Beau & Mary Orchard / Mark & Kay Christopherson
   LOCATION: 400 East Horseshoe Drive

   E. SITE & BUILDING PLAN REVIEW
   FILE NO: 2616-16-15
   APPLICANT: Stephen Laliberte
   LOCATION: 1080 West County Road E.

6. MISCELLANEOUS

A. City Council Meeting Assignments for June 6th, 2016 and June 20th, 2016
Commission Member Doan and Ferrington

7. ADJOURNMENT

SHOREVIEW PLANNING COMMISSION
MEETING MINUTES
April 26, 2016

CALL TO ORDER

Vice Chair Brian McCool called the April 26, 2016 Shoreview Planning Commission meeting to order at 7:00 p.m.

ROLL CALL

Vice Chair Brian McCool stated that he will be acting as Chair in the absence of Chair John Doan. The following Commissioners were present: Commissioners Ferrington, Peterson, Solomonson, Thompson and Wolfe.

Chair Doan was absent.

APPROVAL OF AGENDA

MOTION: by Commissioner Peterson, seconded by Commissioner Thompson to approve the April 26, 2016 Planning Commission meeting agenda as presented.

VOTE: Ayes - 6 Nays - 0

APPROVAL OF MINUTES

MOTION: by Commissioner Peterson, seconded by Commissioner Solomonson to approve the March 22, 2016 Planning Commission meeting minutes, as presented.

VOTE: Ayes - 5 Nays - 0 Abstain - 1 (Thompson)

Commissioner Thompson abstained, as she did not attend the March 22, 2016 meeting.

REPORT ON CITY COUNCIL ACTIONS

City Planner Kathleen Castle reported that the City Council approved the Site and Building Plan for the Dairy Queen application. Also, the Final Plat and PUD for Elevage was approved.

Commissioner Ferrington noted that affordable units were added to the Elevage development. Ms. Castle explained that Ramsey County requested and will provide funding for up to four affordable units to which Elevage agreed. These units would be available to families with 80% income of the AMI, or just over $55,000 for a family of four.

NEW BUSINESS

SITE & BUILDING PLAN REVIEW

FILE NO: **2613-16-12**
APPLICANT: **MIDLAND TERRACE / CLASSIC CONSTRUCTION**
LOCATION: **3575, 3545 OWASSO STREET**

Presentation by Senior Planner Rob Warwick

Midlland Terrace consists of 10 building with 42 units in each building. The development is spread over approximately 80 acres, which includes the wetland known as Lake Shoreview. There are 11 detached garages in the complex. The proposal is to remove two garages and replace them with the same number of 22 parking stalls. There is approximately 84,000 square feet of parking area around the garages that would be repaved, and new concrete curb and gutter installed around the perimeter of the parking area. Surmountable curb will be used along the west, and barrier curb will be used in the remainder of the project. The exterior of the garages will have a shingled, hip roof with vertical cedar siding on the long sides of the buildings to compliment the apartment buildings. The short sides of the garage buildings will be concrete block. The same design used for a new garage in 2013 is being used.

The land use designation for this property in the Comprehensive Plan is high density residential, 8 to 20 units per acre. Adjacent land uses include the railroad to the north, light industrial to the east, low density residential to the south and institutional across Victoria Street to the west.

This complex was approved in 1967. There was no formal PUD designation, but the PUD concept was used during approval for the 10 apartment buildings, 11 detached garage buildings and future retail development in the northwest corner of the complex all on a single site. No setbacks were required at the time of approval.

There are currently 244 indoor parking stalls, which is less than the 420 required by current Code. The 1967 approval included a total of 745 stalls with 210 enclosed stalls. The proposal does not change the amount of parking provided. There is also no change to impervious surface. The maximum impervious surface allowed is 65%; the complex has approximately 60%.

Storm water flows directly to the pond. The paving project will allow drainage to be modified. Storm water management practices that would fit this site include filter strips and/or a wetland buffer, which better complies with current City standards.

Notice of the proposal was sent to property owners within 350 feet of the property. The Fire Marshall had no comment. No public comments were received. A permit is not required from the Ramsey Washington Metro Watershed District.

Staff finds the proposed improvements to be consistent with the policies of the Comprehensive Plan and recommends the proposal be forwarded to the City Council for approval.

Commissioner Ferrington asked if the garage design includes an enclosure for the trash receptacles. Mr. Warwick explained that the photo used for this presentation is an old one. In 2013, when the new 31-stall garage was constructed, one stall was dedicated for dumpster storage.

Commissioner Solomonson asked if future requests for upgrading buildings would address the lot lines within the site and the fact that there are buildings that straddle lot lines. Mr. Warwick stated that one requirement could be a re-plat of the property to reflect one principal building per lot. Another possibility would be to re-plat the property into a single parcel with rezoning to PUD.

Commissioner Solomonson noted that the property currently has 1.7 stalls per unit. Code requires 2.5 stalls per unit. He asked if there are any parking issues with the current amount of parking provided.

Commissioner McCool echoed Commissioner Solomonson in requiring the property to be re-platted, if there should be further improvements in order to address the lot lines. He expressed concern about the direct drainage of storm water to the pond and asked if storm water will actually use the proposed infrastructure. Mr. Warwick stated that over 50% of runoff from the parking areas flows to the street. The remainder flows to the pond. Several years ago a filtration basin was constructed to capture sediment in runoff from the parking area. That basin has become a problem with water standing and the grass dies. Filter strips along the edge of the pond would prevent sediment and nutrients from entering the water. That would be at the expense of lawn area, which residents enjoy. The existing water patterns will remain. As water flows to the curb cuts, it enters the catch basins installed one of which will be replaced.

Commissioner asked if ultimately all the water eventually flows to the pond. Mr. Warwick answered that it does.

Mr. Max Segler, Tycon Companies, 321 University Avenue, Minneapolis, responded to questions by Commissioners:

- Trash enclosures are now located just outside the garages. The new garage will be similarly designed.

- He acknowledged a waiting list for inside parking stalls usually in the winter. Generally, residents do not want to pay the extra for inside stalls in the summer. There are no complaints regarding surface parking. There is no parking on the street. Management believes parking is adequate.

- There is discussion about future work on the site. It is difficult to re-plat, as the mortgage companies require the plats for collateral. It is complicated to move boundaries.

- The infrastructure for storm water that will be constructed in conjunction with the City is 42 feet long, 16 feet wide. There are baffles the whole length to filter out sediment and nutrients, so that clean water flows into the lake.

- Efforts will be made to increase the amount of storm runoff going to the City sewer.

Commissioner Ferrington noted that when Lakeview Terrace was upgraded, overflow parking was negotiated to be within Midland Terrace parking. She asked if any difference has been noticed for Midland Terrace with this arrangement. **Mr. Segler** stated that there has been no problem.

Commissioner Peterson thanked Mr. Segler and the owner for the reinvestment upgrade and the good maintenance of the complex.

MOTION: by Commissioner Solomonson, seconded by Commissioner Peterson to recommend the City Council approve the Site and Building Plan review application submitted by Terrace Apartments Company to demolish two existing garages and construct two new garages north and south of the apartment building at 3545 Owasso Street.

This approval is subject to the following:

1. This approval permits the construction of two 4,900 square foot garages to be used for tenant vehicle parking north and south of the apartment building at 3545 Owasso Street.
2. Approval of the final grading, drainage and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project. These plans shall include the practices used for treatment of storm water runoff.
3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
4. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

This approval is based on the following findings of fact:

1. The proposed land use is consistent with the designated Residential (8-20 units per acre) land use of the Comprehensive Plan.
2. The proposed development complies with the standards identified in the City's Development Code.
3. The proposed improvements meet the spirit and intent of the Comprehensive Plan and the Development Code.
4. The improvements further the goals outlined in the Housing Chapter of the Comprehensive Plan regarding neighborhood reinvestment and housing maintenance.

VOTE: Ayes - 6 Nays - 0

MISCELLANEOUS

Council Meetings

Commissioners Peterson and McCool will respectively attend the May 2, 2016 and May 16, 2016 City Council meetings.

Discussion Items Presented by City Planner Kathleen Castle

Beekeeping Ordinance: Ms. Castle stated that many questions were raised at the recent beekeeping workshop. Mr. Gary Reuters, University of Minnesota Bee Lab, was unable to attend. Ms. Castle will follow up with him on the questions asked. The group would like to go to the bee lab and talk more about beekeeping in the back yard and see an actual hive.

Building Height: Consideration is being given to modifying City regulations regarding height restrictions. Many development proposals exceed the maximum height now allowed at 35 feet across all zones. Height can be increased only if the minimum setback is increased by the same number of feet. Currently, City Code restricts height to the capability of the Fire Department, which is no longer a concern because of staff training and because taller buildings have fire suppression system.

There are three recommended provisions:

1. Increase maximum height in all districts except the R1, Single-Family Residential and R2, Attached Residential Districts:
   - The height for the R3 District is proposed to be 40 feet or 50 feet if the site is adjacent to I-694 or I-35W. The 40 feet is based on what has been permitted in newer residential complexes. The height of 40 feet would permit three stories with a hip roof.
   - The C1, Limited Retail and C2, General Commercial would be changed to a maximum of 45 feet to permit four stories.
   - Office, Business Park and Industrial zones would be allowed 55 feet or a 5-story building, or 65 feet (six-story building) adjacent to I-694 and I-35W.

In all instances there would be more flexibility for a site that is adjacent to I-694 or I-35W.

Commissioner McCool asked the rationale for the larger setbacks required for increased heights. Business Park, Industrial and Office often build buildings that are attractive and would look nice closer to the street. Ms. Castle stated that the current setback for Business Park is 75 feet. Staff will look further into this question.

Commissioner Solomonson stated that he would like to see a tiered system for buildings that are located closer to low density residential areas.

2. Establish minimum structure setback and height transition area when multi-family residential development adjoins property zoned for low density residential. Because multi-

family and single-family are both residential, the Code does not have a specified setback. Propose minimum structure setback of 30 feet. The transition area is where a tiered height could be implemented with a maximum of 40 feet in height.

One question is whether height can be increased along arterial roads, such as Highway 96 and Lexington. Staff proposes that once a development is out of a transition area, the maximum height can be used. The required setback for R3 in the Code is 75 feet and already creates a buffer to residential.

Commissioner Solomonson suggested that "adjacent to the freeway" needs to be specifically defined. His concern is the transition area adjacent to low density residential.

Chair McCool stated that a 40 foot of setback is required for a commercial building with a 50 foot in height; he would like to see the same setback applied from residential. Ms. Castle responded that the minimum structure setback can be increased, or the transition area can be increased.

Commissioner Ferrington agreed that adjusted requirements are to protect single-family homes. One of the main issues is for the transition from R3 to R1 not be too abrupt. She asked why there is a 50-foot setback from arterial roads. Ms. Castle stated that there are greater setbacks required on arterial roads already for Office and Industrial. Whether a side or rear setback, the greater restriction would apply.

Commissioner Peterson stated that it is assumed businesses and industrial will be unattractive, but the water treatment facility would not look out of place in a residential area. A tiered system in transition areas makes sense. Building construction standards make all buildings more acceptable than in the past.

Commissioner Solomonson noted that other cities allow higher residential buildings. Ms. Castle stated that generally on residential sites, the 35-foot height requirement is adequate. Multi-family residential varies, and many other communities allow taller structures than in Shoreview.

3. Improve landscape and screening requirements when higher density residential and non-residential uses abut low and medium density residential land uses. When non-residential is adjacent to residential, a 20-foot buffer is currently required. Landscaping, fencing or berming could be used. A minimum height of 6 feet for trees and fences. Plantings must be 6 feet for evergreens; deciduous trees are 2.5 inch caliper; ornamental trees are 1.5 inch caliper.

Commissioner McCool stated that he would like the Commission and City Council to have flexibility with landscaping requirements in order to address specific circumstances to maintain privacy.

Commissioner Solomonson stated that the intent of screening needs to be defined. Residents seem to expect landscaping to block new construction from view. The ordinance needs to be clear that the purpose of landscaping is to mitigate the impact but not necessarily block the view.

Parking: Ms. Castle stated that this issue comes up with all multi-family developments. Parking ratios are defined by the zoning district and by specified uses in those districts. The City can change regulations to reduce the parking required under certain criteria. One chart shows a range of 1 stall per dwelling unit at Scandia Shores to 2 stalls per dwelling unit at Applewood Point. In surveying multi-family developments in the City, it was found that most believe they have adequate parking with the exception of Meadowlands. Developers were also surveyed and it was found that in general, they believe adequate parking is less than what is required by the City. Developers are careful to not over develop or under develop parking. Too much parking does not add value to a development.

In comparison to other communities, Shoreview's requirements are at the high end. Many communities regulate parking according to the number of bedrooms in dwelling units. Ms. Hill noted that the data presented for commercial is general retail. However, many cities have pages of regulations that define parking requirements in terms of specific retail use.

Ms. Castle referred to a national parking study that was done by the Institute of Transportation Engineers. Sites are studied to determine parking needs according to land uses. Their data show that the range of parking provided for multi-family developments is 0.59 stalls per unit to 1.4 stalls. Ratios include guest parking.

Commissioner Solomonson stated that he would like to know if the data presented meets the parking needs most of the time.

Commissioner Ferrington noted that most regulations are based on the number of bedrooms while Shoreview's requirements are based on units. Regulation per unit may underestimate the need based on the number of bedrooms.

Commissioner McCool stated that he would like to see the City further define in Code parking needs for specific uses. He would prefer using bedrooms as a basis for determining parking rather than units. He referred to the regulations of Fridley and Woodbury that he likes. He would prefer to err on the high side so that multi-family developments do not push parking into neighborhoods. Commercial needs are vastly different depending on the use, and there needs to be flexibility for parking requirements. He also would like a review of size of parking stalls and drive aisles between rows of stalls.

Commissioner Peterson stated that all circumstances are different and each application will have to be looked at in terms of specific needs.

Commissioner Solomonson stated that he believes Shoreview's requirement of 2.5 spaces per unit is too high.

Addressing parking regulations will be divided into two areas--residential and commercial. Ms. Castle would like to address residential first and have new regulations in place within a few months.

ADJOURNMENT

MOTION: by Commissioner Ferrington, seconded by Commissioner Peterson, to adjourn the meeting at 8:55 p.m.

VOTE: Ayes - 6 Nays - 0

ATTEST:

_____

Kathleen Castle
City Planner

TO: Planning Commission

FROM: Niki Hill, Economic Development and Planning Associate

DATE: May 19, 2016

SUBJECT: File No. 2614-16-13, Conditional Use Permit – Matthew and Rachel Karel, 863 Tanglewood

INTRODUCTION

Matthew and Rachel Karel, submitted a conditional use permit application to construct a detached accessory structure on their property. On single-family residential parcels larger than one acre but less than two acres, accessory structures that exceed the maximum allowable square footage are permitted with a conditional use permit as long as the total accessory structure square footage does not exceed 100% of the dwelling unit foundation or 1500 square feet, whichever is more restrictive. The intent of the conditional use permit process is to review the proposal in terms of the Development Code standards and consistency with the Comprehensive Plan.

PROJECT DESCRIPTION

The property is land locked without any public right of way frontage, and has access to Tanglewood Drive via a private driveway easement. It is located to the south of a property that abuts Turtle Lake and north of a property along Tanglewood. The property is zoned RE, Residential Estate, as are the adjacent properties. The adjoining riparian parcels are part of the Shoreland Management District of Turtle Lake.

The property is 1.77 acres and has a width of 110 feet, and a depth of 700 feet. The property is developed with a single family home that has a foundation area of 1,388.4 square feet, a 454 square foot attached garage and 400 square foot detached gazebo. The house and attached garage are located 79.2 feet from the southern property line, and over 580 feet from the northern property line. The existing detached gazebo is 80 feet north of the house, over 190 feet from the south lot line, and 39 feet from the east side lot line and over 10 feet from the private driveway easement. The property shares the long driveway with the adjoining lots to the north and the south via a 25 foot wide private driveway easement that parallels the east property line.

The applicant had initially applied to construct a 24 foot by 24-foot (576 square foot) accessory structure with a peak height of just over 10 feet. The foundation size and attached garage size that were given differed from what the City records indicated. Upon staff measurement of the foundation and garage size, the proposed size exceeded 100% of the foundation area when totaled with the existing accessory structure square footage. The applicants have revised their plan to a 24’ x 22’, 528 foot accessory structure. On lots over 1 acre but less than 2 acres, a Conditional Use Permit is required to construct anything over 440 square feet. Please see the attached plans.

DEVELOPMENT CODE

The single family residential accessory structure regulations (205.082(C) and 205.082(D)) were revised in 2016, with tiered standards by parcel size to allow more flexibility to those property owners with larger parcels. For this property (greater than 1 acre up to 2 acres) the area maximum area permitted for up to two detached accessory structure is 440 square feet. Accessory structures may exceed the maximum allowable square footage permitted by Code with a conditional use permit provided certain standards are met. For this parcel size this area can be exceed if the combined area of all accessory structures does not exceed 100% of the dwelling unit foundation area or 1,500 square feet, whichever is more restrictive.

Accessory structures must be setback a minimum of 5 feet from a side lot line, 10 feet from a rear lot line, and 10 feet from any private easements. The maximum height permitted for detached accessory structures is 18 feet as measured from the roof peak to the lowest finished grade; however in no case shall the height of the structure exceed the height of the dwelling unit. In addition, sidewalls cannot exceed 10 feet and interior storage areas above the main floor cannot exceed an interior height of 6 feet.

The exterior design of the structure must be compatible with the dwelling and be similar in appearance from an aesthetic, building material and architectural standpoint. The proposed design, scale, height and other aspects related to the accessory structure are evaluated to determine the impact on the surrounding area. Building permits may be issued upon the finding that the appearance of the structure is compatible with the structures and properties in the surrounding area and does not detract from the area. The intent of these regulations and the City's Comprehensive Plan's policies is to ensure that the residential character of the property and neighborhood is maintained and that dwelling unit remains the primary feature and use of the property.

Conditional Use Permit

Attachment A summarizes the standards which must be met for the conditional use permit to be granted. These standards address location, structure setbacks, screening, and exterior design. In addition, a Conditional Use Permit can only be granted upon the finding that the proposed use is in harmony with and conforms to the Comprehensive Plan policies and Development Code standards.

APPLICANT'S STATEMENT

The applicant states that the detached garage will be used for typical garage and storage use. See attached statement.

STAFF REVIEW

The proposal was reviewed in accordance with the standards specified in the Development Code. This second detached accessory structure complies with the location, height, design and setback requirements for a detached accessory structure. Existing vegetation, size of the property and location minimize the visual impacts on adjoining properties.

Due to the proximity of the structure to the existing shared driveway, it will be visible from the private drive. Staff considers this a difficult view to mitigate since the driveway will be separated by the 10 foot setback requirement. Staff will recommend that vegetation is planted to help mitigate this impact.

The following table summarizes the proposal in terms of the Development Code standards.

	Existing	**Proposed**	**Development Code Standard**
Area **Detached Accessory Structures** **All Accessory Structures**	400 854	928 sf 1382 sf	*****440 sf *1,500 sf or 100% of the dwelling unit foundation area (1388.4 sq ft) – whichever is more restrictive
Setback **Side lot line** **Private Drive**	 NA NA	 43 ft 10 ft	 10 ft 10 ft
Height **Roof Peak** **Sidewall**	 NA	 10 ft 8 ft	 18 ft 10 ft
Exterior Design		Comply with standards	Compatible with the residence and be similar in appearance
Screening		Retain existing vegetation	Structure shall be screened from view of public streets.

*Standard may be exceeded with a Conditional Use Permit

In Staff's opinion the proposed structure is also in harmony with general purpose of the Development Code and Comprehensive Plan policies. While the proposed area of the detached structure exceeds that which is permitted by right, the structure meets the conditional use permit standards. The total floor area of accessory structures will be 99.5% of the dwelling unit foundation area. Staff believes that the major separation with thick vegetation between the proposed garage and gazebo and house with attached garage

will not visually tie the accessory structures together and that the dwelling unit will remain the primary feature and use of the property.

The applicant indicated that the structure will be used for typical garage and storage use. This use is consistent with the residential use of the property and neighborhood.

Staff has also received comments regarding concerns with a conflict in the future development of the area. This stems from future development patterns that have been shown in the area over the years. In those patterns there are concepts that show a road going through this parcel. While staff is receptive of this concern, there are currently no plans to develop the area. This area is part of Policy Development Area 5 of the Comprehensive Plan. This enables the City to establish land use policies that are sensitive to the existing development pattern and natural feature of the neighborhood. If presented with a subdivision proposal, the City may consider the further study of this area to address issues regarding potential lot sizes, access and stormwater management. A comprehensive subdivision plan could then be developed for these neighborhoods. Staff believes that in the event of development of the area, the location and possible removal of the garage could be addressed with either a subdivision or development agreement.

COMMENT

Property owners within 350' of the property were notified of the application. One comment was received in support of the project. Two comments were concerned with future impacts that this garage could have if the area were to ever be subdivided – one of which was opposed to the project and the other had no objections.

RECOMMENDATION

A Conditional Use Permit may be granted provided the proposed use is listed as a conditional use for the district in which it is located and upon showing that the standards and criteria of the Development Code are satisfied. The criteria for a Conditional Use Permit includes that the use is in harmony with the general purposes and intent of the Development Code and Comprehensive Plan and that the structure/land use conforms with the Comprehensive Plan and are compatible with the existing neighborhood. In staff's opinion, these criteria are met. An accessory structure of this size is compatible with the neighborhood provided the project adheres to the conditional use permit standards. Staff is recommending the Planning Commission recommend the City Council approve the Conditional Use Permit subject to the following:

1. The project must be completed in accordance with the plans submitted with the application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. The exterior design and finish of the structure shall be compatible with the dwelling.
3. Vegetation and/or screening shall be installed on the east side of the garage to lessen the visual impact adjacent to the driveway easement.

4. A minimum setback of 10-feet is required from the private driveway easement line.
5. The applicant shall obtain a building permit for the structure.
6. The structure shall be used for storage and other garage related purposes.
7. The structure shall not be used in any way for commercial purposes.

Attachments:

1. Attachment A – Conditional Use Permit, Standards for Detached Accessory Structures
2. Location Map
3. Applicant's Statement and Submitted Plans
4. Updated Size Information
5. Comments
6. Motion Sheet

ATTACHMENT A

(1) The accessory structure shall be located in the rear yard of the property except as otherwise permitted by this ordinance.

(2) The accessory structure shall be setback a minimum of 10 feet from the side property line and 10 feet from the rear property line; however, the City may require greater setbacks to mitigate impacts on adjoining properties.

(3) For parcels 1 acre or larger in size, the lot shall have a minimum area of 1 acre above the ordinary high water line of a lake, ponding area or wetland on the property.

(4) The accessory structure shall be screened from view of adjacent properties and public streets through the use of landscaping, berming, fencing or a combination thereof.

(5) The structure shall comply with the standards of Section 205.082(D)(5) of this ordinance.

Conditional Use Permit Criteria

Certain land uses are designated as a conditional use because they may not be suitable in a particular zoning district unless conditions are attached. In those circumstances, conditions may be imposed to protect the health, safety and welfare and to insure harmony with the Comprehensive Plan.

In addition to the standards identified above, the City Council must find that the use complies with the following criteria.

(1) The use is in harmony with the general purposes and intent of the Development Ordinance.

(2) The use is in harmony with the policies of the Comprehensive Guide Plan.

(3) Certain conditions as detailed in the Development Ordinance exist.

(4) The structure and/or land use conform to the Land Use Chapter of the Comprehensive Guide Plan and are compatible with the existing neighborhood.

MapRamsey

863 Tanglewood - Aerial

773.1 0 386.57 773.1 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

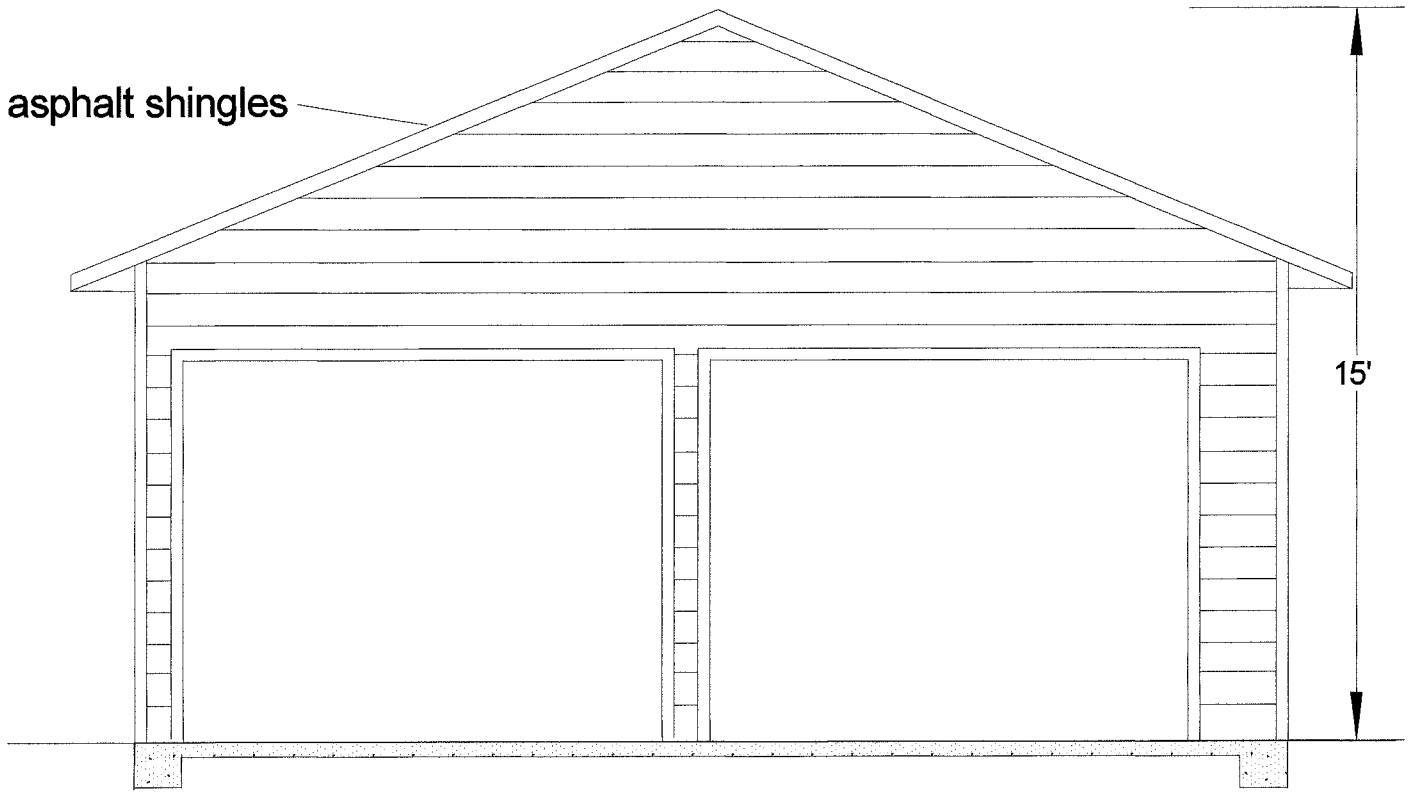
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

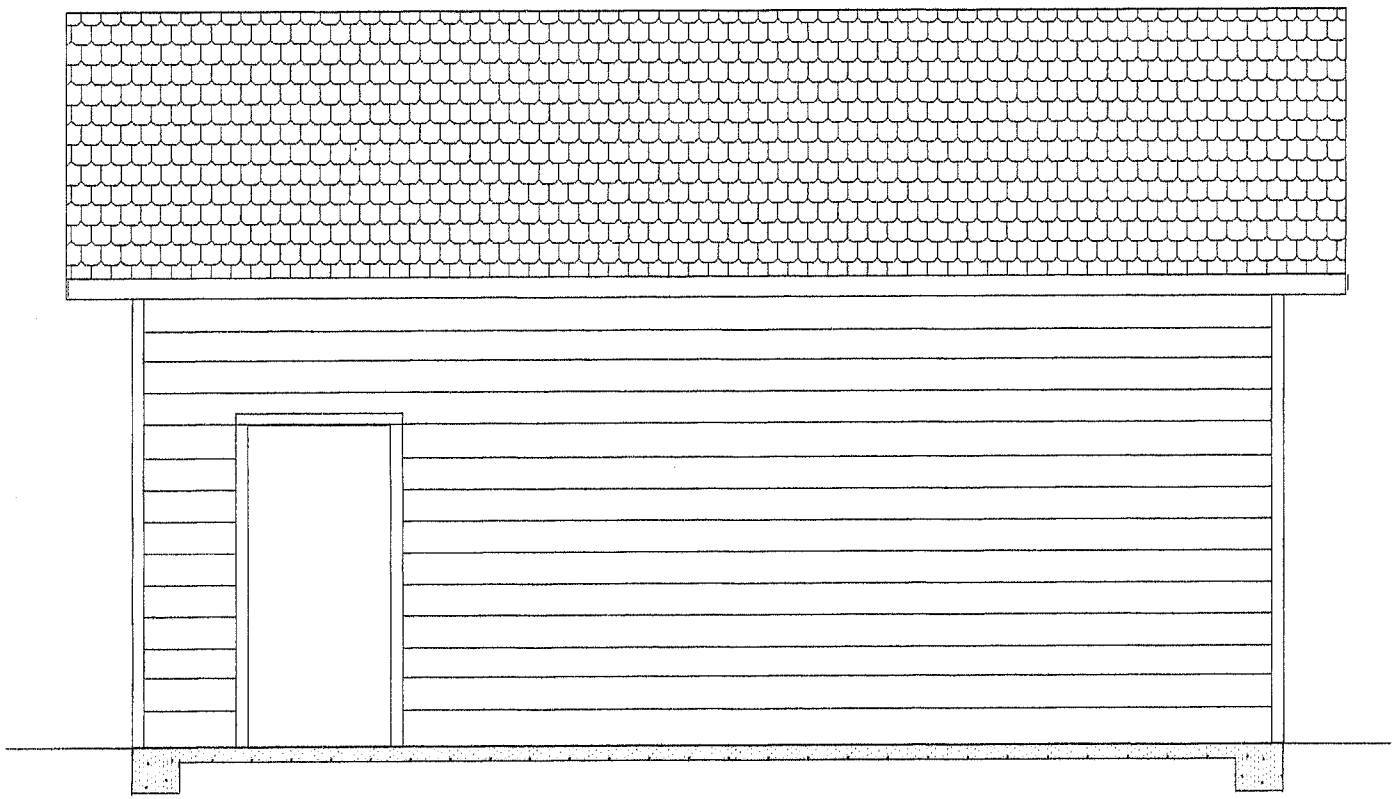
Notes

Enter Map Description



1/4"=1'-0"

Matthew and Rachel Karel	South Elevation	



1/4"=1'-0"

Matthew and Rachel Karel	East Elevation	

CERTIFICATE OF SURVEY

FOR: MATT KAREL

LEGEND

- ● DENOTES IRON MONUMENT FOUND
- ○ DENOTES 12 INCH METAL SPIKE SET (UNLESS OTHERWISE NOTED)

EXISTING PROPERTY DESCRIPTION

The north 700.00 feet of the south 943.00 feet of the east 110.00 feet of Government Lot 2, Section 14, Township 30, Range 23.

This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.

NOTES

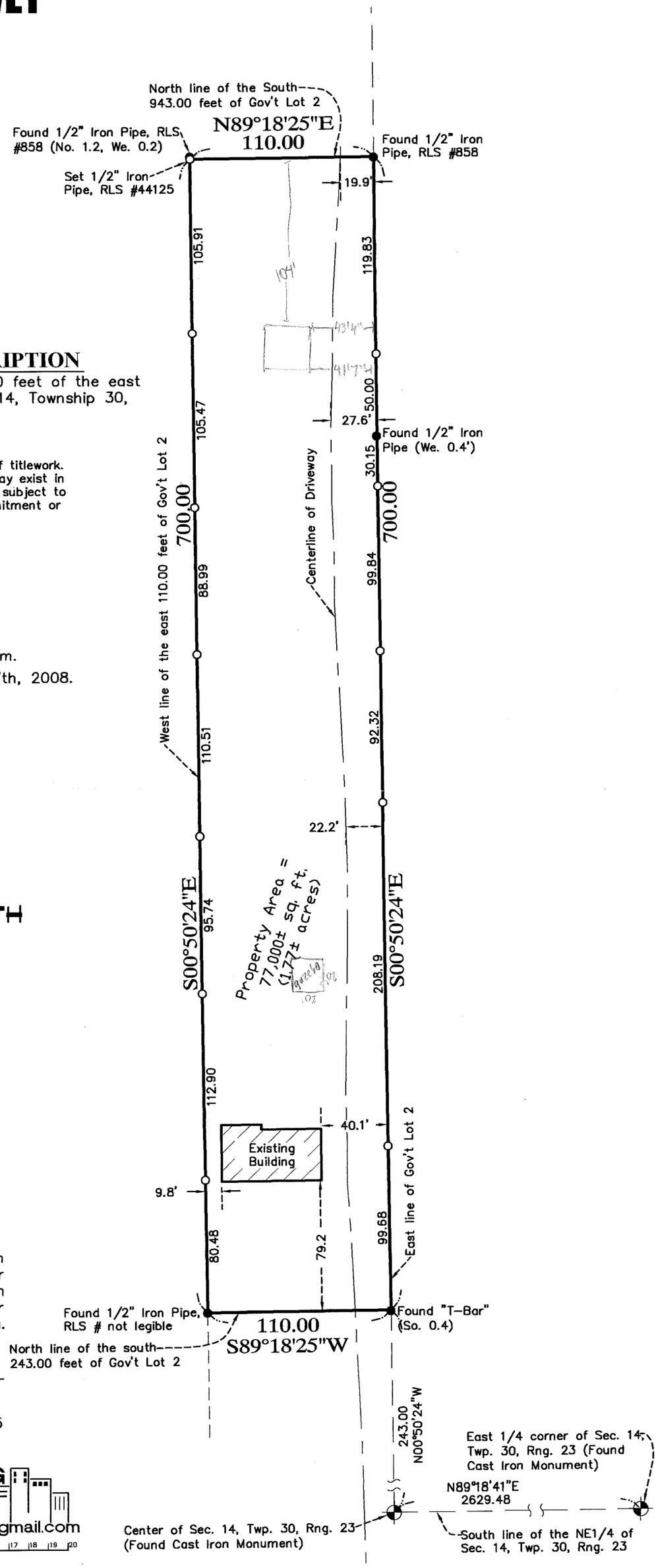
- Bearing's shown are on assumed datum.
- Field survey conducted on March 17th, 2008.

GRAPHIC SCALE

0 60

(IN FEET)
1 inch = 60 ft.

NORTH



MINNESOTA
ERIC R. VICKARYOUS
44125
MN
LAND SURVEYOR

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Eric R. Vickaryous

ERIC R. VICKARYOUS

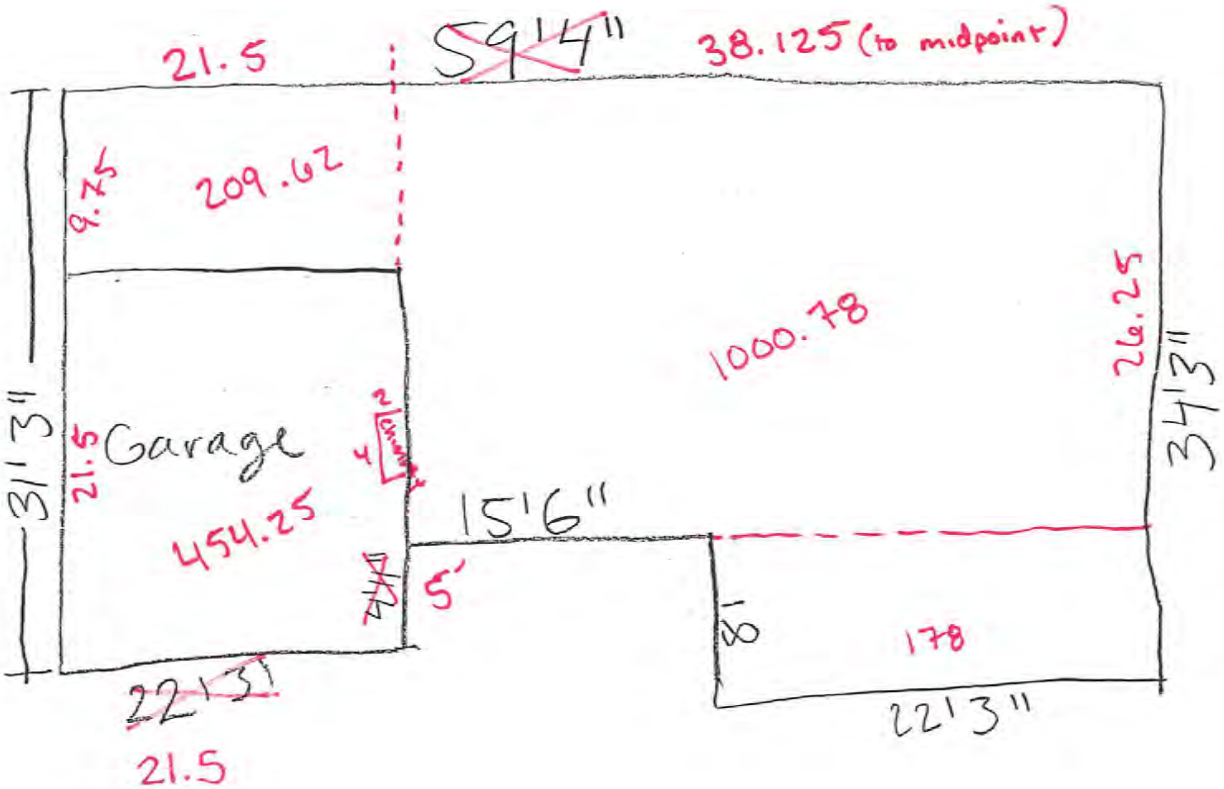
Date: March 17th, 08' Reg. No. 44125

ACRE LAND SURVEYING
Ham Lake, MN 55304
763-458-2997 acrelandsurvey@gmail.com

C:\Land Projects R2\08013ls-shoreview\dwg\08013ls-shoreview.dwg 3/17/2008 8:33:01 AM CDT

JOB #08013ls

NOT to scale, just for square footage



House : 1,431.5 sq. ft
Attached Garage: 433 sq. ft.
Gazebo: 400 sq. ft.
Remaining: 598 sq ft.

Proposed Detached Garage: 576 sq ft.

Updated 5/18/16

House : 1388.4
Attached : 454.25
Gazebo : 400
Remaining : 534.15

Nicole Hill <nhill@shoreviewmn.gov>

Clarification of Foundation Size

Matt Karel <mkarel@garlock-french.com> Wed, May 18, 2016 at 1:52 PM
To: Niki Hill <nhill@shoreviewmn.gov>

Niki,

Thanks for coming out and the size you have is great.

Thanks again
Matt karel

Sent from my Verizon Wireless 4G LTE smartphone

-------- Original message --------
From: Niki Hill <nhill@shoreviewmn.gov>
Date: 05/18/2016 12:43 PM (GMT-06:00)
To: Rachel Karel <rachel.karel@gmail.com>
Cc: Matt Karel <mkarel@Garlock-French.com>
Subject: Re: Clarification of Foundation Size

Hi Matt and Rachel,

First off, thanks so much for meeting me out there this morning Matt. I have gone through the measurements that were taken this morning and have attached an updated sheet that includes those numbers. At this point the foundation area is 1388.4. With the deduction of the existing accessory structure square footages that leaves 534.15 square feet.

I know Matt had talked about wanting to keep the 24 foot width for the door and such this morning. If that is the case, the largest that would be possible would be the 24' x 22', 528 square foot garage.

Can you please let me know if that is the updated size you would like or if you have another preference? I will update the report to reflect what your preference is within the allowable amount but would like it in writing so that it is addressed in the record.

Thanks again for meeting me out there to take care of this.

Best,

Niki

On Tue, May 17, 2016 at 9:00 AM, Niki Hill <nhill@shoreviewmn.gov<mailto:nhill@shoreviewmn.gov>> wrote:
Hi Rachel and Matt,

Thanks for the the quick reply. I assumed after working with Rob that you had measured to get the square footages, etc but I just wanted to make sure when compared to the County and City data that we have on file. Would either of you have time to meet me later this week to at least measure out the garage and possibly the house? I just want to verify those numbers as well so it can be noted in the report, especially as the previous report had the 506 square feet. As long as those numbers match up, things should be just fine as you meet all the other criteria.

I can be flexible on the time to meet too. I'm not sure what your schedules are like but I'm willing to meet earlier

or later if need be.

Just let me know what works for you.

Thanks!

Niki

On Mon, May 16, 2016 at 4:28 PM, Rachel Karel <rachel.karel@gmail.com<mailto:rachel.karel@gmail.com>> wrote:
Hi Niki,
Matt forwarded your email to me. I'm not sure where 506 came from the last time, but it is far off. If we made an error there, I hope it doesn't come back to bite us here! The garage is 433 square feet (21x21 with a section that juts out into it for our chimney that is 2x4). Since Rob told us to measure everything as closely as we can, we measured the whole house down to the inch. I'm assuming the correct garage measurements will make it work. The porch definitely has a roof and I don't know why that wouldn't be included in the county numbers-maybe it was added on later? If someone wants to come out and measure personally, we'd be glad to meet them here!
Thanks,
Rachel and Matt Karel

Sent from my iPhone

On May 16, 2016, at 1:55 PM, Matt Karel <mkarel@Garlock-French.com<mailto:mkarel@garlock-french.com>> wrote:

Matt Karel
Sales Representative

<image003.jpg><http://www.garlock-french.com/>
PROVIDING PEACE OF
MIND SINCE 1932

Direct - 612-276-9932<tel:612-276-9932>
www.garlock-french.com<http://www.garlock-french.com/>

Minneapolis – 2301 East 25th Street, Minneapolis, MN 55406 Office 612-722-7129<tel:612-722-7129>
Minnetonka – 601 Carlson Parkway Suite 1050, Minnetonka, MN 55305 Office 952-473-1017<tel:952-473-1017>
White Bear Lake – 4668 Bald Eagle Avenue, White Bear Lake, MN 55110 Office 651-429-2335<tel:651-429-2335>

From: Niki Hill [mailto:nhill@shoreviewmn.gov]
Sent: Monday, May 16, 2016 1:24 PM
To: Matt Karel <mkarel@Garlock-French.com<mailto:mkarel@garlock-french.com>>
Subject: Clarification of Foundation Size

Hi Matt!

I will be calling you as well but I also wanted to send this e-mail to touch base and that it was all written down for you already. I have some concerns regarding the foundation size of the house in what you have submitted (1431.5 square feet) versus what the County has on record (1162 square feet). Even with adding in the porch (if it has a roof) we would only get to 1355 with that County Data.

Can you show me in more detail where the numbers come from? I have your drawing that was submitted with the plans and I do not believe that it adds up to the 1431.5 either.

Also, for the garage size. In the previous CUP the garage size was listed at 506. Is this incorrect?

I just want to make sure that the numbers are all accurate so I wanted to check on these things.

Thanks!

Niki

--
Niki Hill
Economic Development and Planning Associate
City of Shoreview | Community Development Department
651.490.4658<tel:651.490.4658> | nhill@shoreviewmn.gov<mailto:nhill@shoreviewmn.gov>

--
Niki Hill
Economic Development and Planning Associate
City of Shoreview | Community Development Department
651.490.4658<tel:651.490.4658> | nhill@shoreviewmn.gov<mailto:nhill@shoreviewmn.gov>

--
Niki Hill
Economic Development and Planning Associate
City of Shoreview | Community Development Department
651.490.4658 | nhill@shoreviewmn.gov<mailto:nhill@shoreviewmn.gov>

Comments:

We live at 893 Tanglewood DR.
and while we are not opposed to the
construction of the garage we do have
concerns about it's location. Our concern
is the possibility of future development
and the road extension of Lakeview.
Please consider the placement when
reviewing the setbacks and regulations
for subdivisions. We are opposed to the
garage construction if this site is
located within the area of the road
extension to 893 Tanglewood Drive.

Name: Tom + Shella Bonfe
Address: 893 Tanglewood DR. storerice

RECEIVED
MAY 16 2016
BY: NH

Niki Hill

Comments:

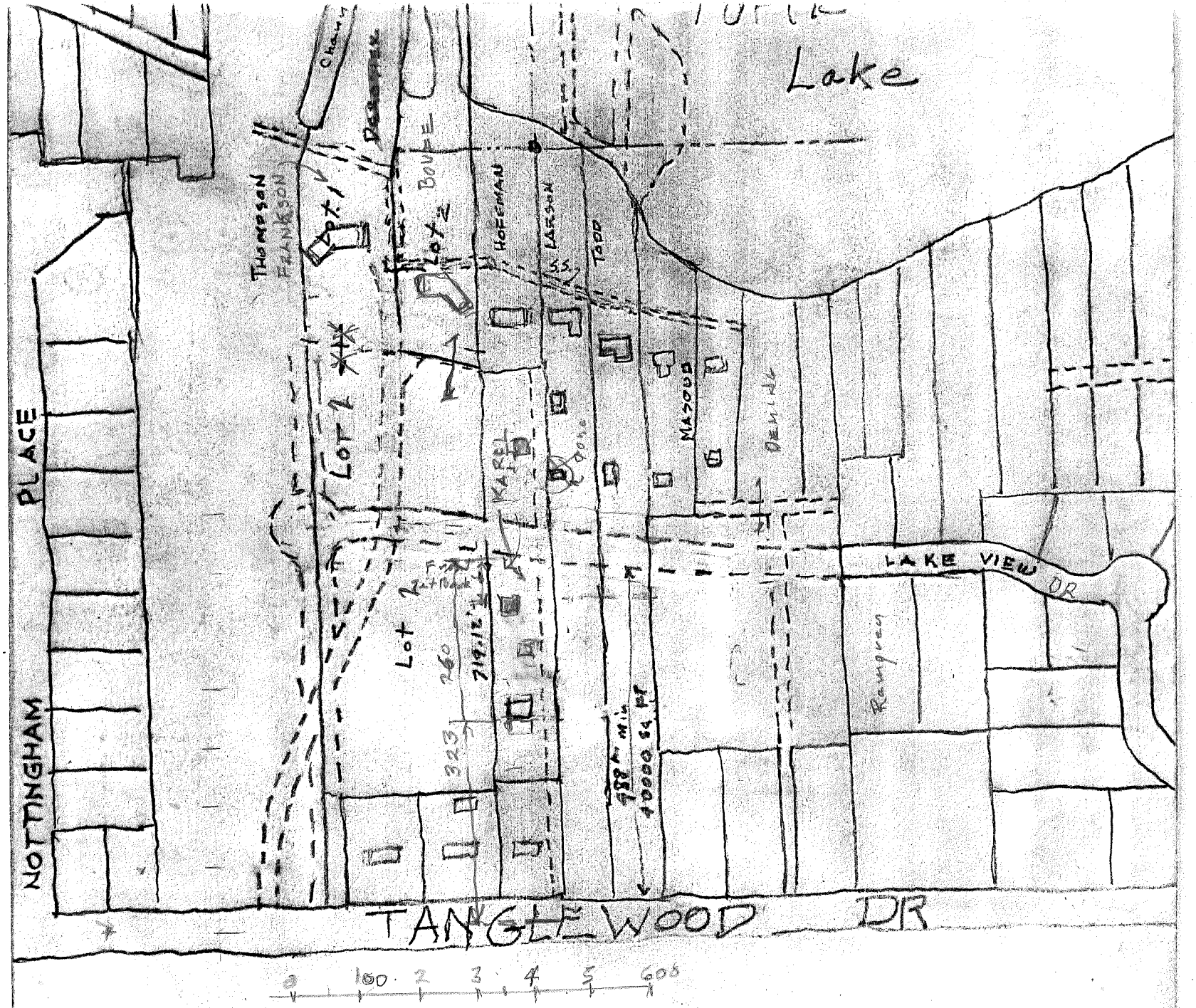
We neighbors all anticipate that some day this beautiful vacant land north of Tanglewood Drive & south of Turtle lake will be developed sensably similar to what is shown on the attached Neighborhood Site Plan. By this plan the Karel site would be cut into two equal sized lots. Hoffmans would like to buy the north end from Karels.

It would be much more practical & neighborhood friendly to have the accessory structure on the south half closer to the other Karel structures, leaving the north half of the lot with more & better options for the residential neighborhood development.

As neighbors paying 8 to $10,000. a year property taxes we deserve better than what has been proposed.

Name: Bruce P. Lawson
Address: Retired Architect
855 Tanglewood Drive

RECEIVED
MAY 12 2016
BY:



Neighbourhood Site Plan

CERTIFICATE OF SURVEY

FOR: MATT KAREL

LEGEND

- ● DENOTES IRON MONUMENT FOUND
- ○ DENOTES 12 INCH METAL SPIKE SET (UNLESS OTHERWISE NOTED)

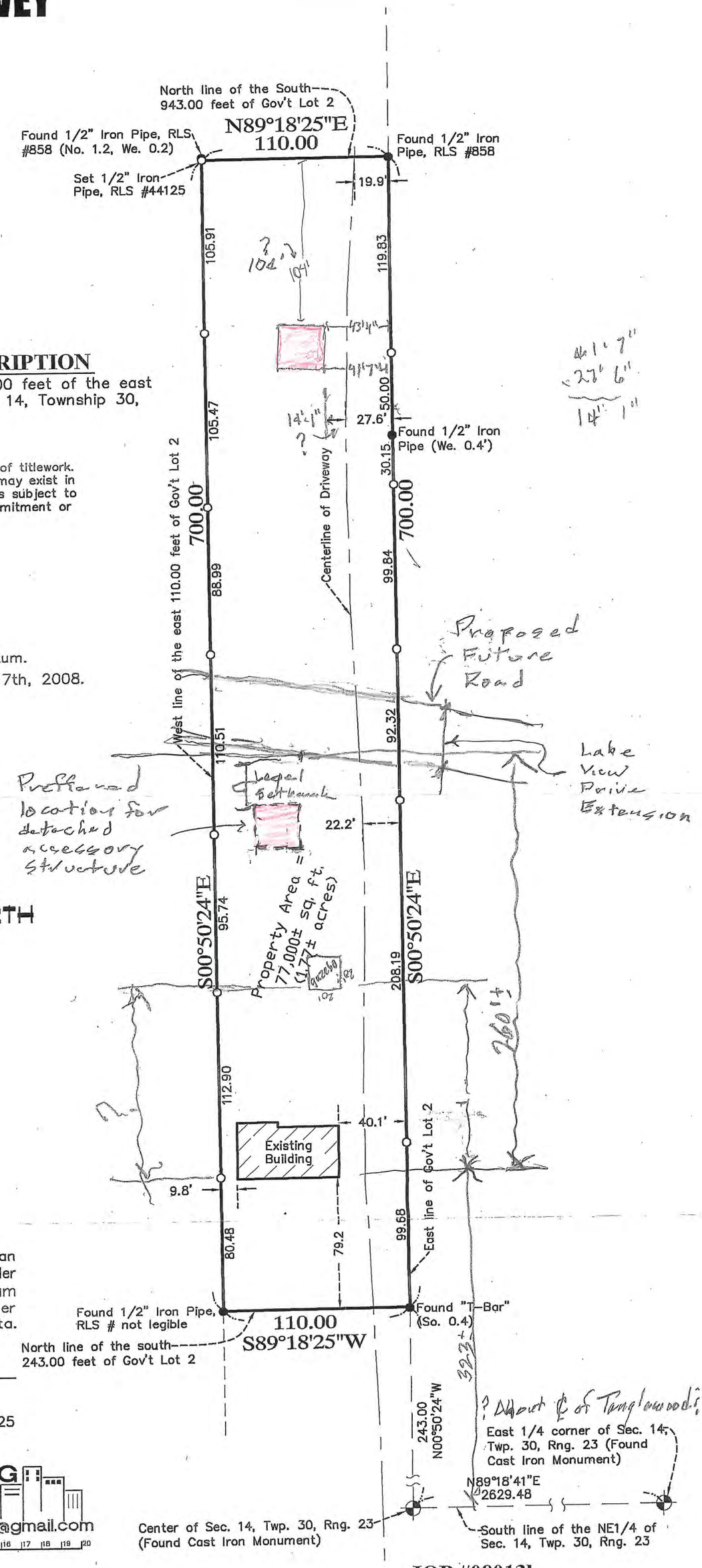
EXISTING PROPERTY DESCRIPTION

The north 700.00 feet of the south 943.00 feet of the east 110.00 feet of Government Lot 2, Section 14, Township 30, Range 23.

This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.

NOTES

- Bearing's shown are on assumed datum.
- Field survey conducted on March 17th, 2008.



MINNESOTA
ERIC R. VICKARYOUS
44125
MN
LAND SURVEYOR

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Eric R. Vickaryous

ERIC R. VICKARYOUS

Date: March 17th, 08' Reg. No. 44125

ACRE LAND SURVEYING
Ham Lake, MN 55304
763-458-2997 acrelandsurvey@gmail.com

C:\Land Projects R2\08013ls-shoreview\dwg\08013ls-shoreview.dwg 3/17/2008 8:33:01 AM CDT

JOB #08013ls

Karel project at 863 Tanglewood.

Comments:

The plans look good to me.
It looks like a nice structure.

Name: Mae McDonnell
Address: 825 Tanglewood Dr.
Shoreview, MN 55126

Nicole Hill <nhill@shoreviewmn.gov>

863 Tanglewood Road - Detached Garage

1 message

Tom Wesolowski <twesolowski@shoreviewmn.gov> Thu, May 12, 2016 at 4:05 PM
To: Nicole Hill <NHill@shoreviewmn.gov>

Niki,

Reviewed the application and have no comments. Check the utility as-builts and do not see any conflicts.

Thanks, Tom

Tom Wesolowski, P.E. | City Engineer
City of Shoreview
4600 Victoria St. N.
Shoreview, MN 55126
twesolowski@shoreviewmn.gov
Direct Tel: 651-490-4652
Fax: 651-490-4696

MOTION

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend the City Council approve the Conditional Use Permit submitted by Matthew and Rachel Karel, 863 Tanglewood Drive, to construct a 24' x 22', 582 square foot detached accessory structure on their property, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted with the application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. The exterior design and finish of the structure shall be compatible with the dwelling.
3. Vegetation and/or screening shall be installed on the east side of the garage to lessen the visual impact adjacent to the driveway easement.
4. A minimum setback of 10-feet is required from the private driveway easement line.
5. The applicant shall obtain a building permit for the structure.
6. The structure shall be used for storage and other garage related purposes.
7. The structure shall not be used in any way for commercial purposes.

Said approval is based on the following findings of fact:

1. The proposed accessory structure will be maintain the residential use and character of the property and is therefore in harmony with the general purposes and intent of the Development Ordinance.
2. The primary use of the property will remain residential and is in harmony with the policies of the Comprehensive Guide Plan.
3. The conditional use permit standards as detailed in the Development Ordinance for residential accessory are met.
4. The structure and/or land use conform to the Land Use Chapter of the Comprehensive Guide Plan and are compatible with the existing neighborhood.

VOTE:

AYES:

NAYS:

Regular Planning Commission Meeting
May 24, 2016

TO: Planning Commission

FROM: Rob Warwick, Senior Planner

DATE: May 20, 2016

SUBJECT: Rezoning and Variance, Vacant Land on Sunview Court, Max Segler, File No. 2618-16-17

INTRODUCTION

Max Segler submitted an application to rezone the vacant property on the east side of Sunview Court. Mr. Segler intends to build a single-family detached home on the property. The proposed dwelling will not conform to the permitted front setback range of 25- to 40-feet, and so a variance to increase the front setback has also been requested.

SITE CHARACTERISTICS

The property is a vacant 5-acre parcel. The front property line is the west lot line, abutting Sunview Court. The parcel includes wetland and upland areas. The proposed driveway will extend from the public street to the east across a wetland area, and to the house and attached garage which will be constructed on the upland area of the parcel.

The properties to the south and west are developed with townhouses while the property to the north is a single family residence. There are wetlands on the property, and also abutting the parcel on the east and south sides.

The proposed project will impact wetlands on the property, and that review is performed by the Rice Creek Watershed District (RCWD). The RCWD has reviewed the proposal and determined it can be approved, subject to conditions. The conditions include the applicant provide for compensatory water storage on the property, and that is expected to disturb about 2,300 sq. ft. of upland area adjacent to the wetland. The final location of the storage area has not yet been determined.

STAFF REVIEW

Rezoning

The property is currently zoned UND, Urban Underdeveloped which serves as a temporary holding zone for underdeveloped or undeveloped properties, and existing uses are allowed to continue. When a change in use is proposed, a rezoning to the appropriate district is required. In this case, the applicant is seeking approval to rezone the property from UND, Urban Underdeveloped to R1, Detached Residential. In Staff's opinion, the proposal is consistent with the rezoning criteria:

1) *That the proposed rezoning is consistent with the policies of the Comprehensive Guide Plan and with the general purpose and intent of the development regulations*

Chapter 4 of the Comprehensive Guide Plan, Land Use, guides this property for RL, Low-Density Residential (0 to 4 units per acre). The RL designation identifies those areas designated for continued or future use as residential, with a density range of up to four units per acre. In undeveloped or underdeveloped areas, a development density and lot pattern similar to that found in existing neighborhoods is expected. Departures or changes from this density and lot pattern may be considered as a means of reducing impacts to the natural environment and providing suitable transitions to existing neighborhoods. Such changes may include smaller lot detached single dwellings or townhouse-style units, not exceeding a density of four units per acre. Corresponding zoning districts include R1, Detached Residential; RE, Residential Estate; PUD, Planned Unit Development.

The submitted development plan is consistent with the RL land use designation with respect to the proposed density of 0.2 units per acre. That proposed density and lot area differ from the higher density attached housing to the south and west, but is similar to the large lot immediately to the north. The subject property is a lot of record and no changes are proposed to the parcel boundaries. There are few 5-acre parcels remaining within the City.

The low density does reduce impacts on the natural environment, but there will be wetland impacts as discussed below.

2) *That the development facilitated by the rezoning will not significantly and adversely impact the planned use of the surrounding property. When the property being considered for rezoning from UND, the most restrictive zoning district option permitted by the PLU designation is considered the baseline for determining significant adverse impact.*

The planned land use of surrounding properties to the west is medium-density residential development. The planned use of the property to the north and south is low density residential. There are areas designated N, Natural east and west of the property. An excerpt from Map 4.2 of the Comprehensive Plan is attached. Staff believes that the proposed single family use is consistent with the surrounding residential planned land uses and so will not adversely impact the surrounding land uses. The R-1 District is appropriate for the proposed residential use.

3) *The developer is willing to enter into a rezoning/development agreement with the City.*

As a condition of approval, the developer will be required to enter into a development agreement with the City.

Variance Criteria

The applicant has requested a variance to increase the front setback from the permitted 40-foot maximum to a range of 260-275 feet. When considering a variance request, the

Commission must determine whether practical difficulty exists and find that granting the variance is in keeping with the spirit and intent of the ordinance. Practical difficulty is defined and reviewed using these criteria:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

In residential districts, the front setback is determined by the setbacks of the principal structures on the adjoining parcels, and here those houses are setback less than 40-feet from the front lot lines. As such the front setback for the subject property is a minimum of 25-feet and a maximum of 40-feet. The applicant states a house cannot be located at the required setback due to the wetlands present on the property. A variance is needed to avoid wetland impacts and use an open area of the upland for the house. The proposed building site is shown with a front setback of about 270 feet, a rear setback of about 40-feet and a setback of about 250 feet from the south property line.

Staff Review – Variance

Staff believes that the proposed single family residence is a reasonable use of the property. The required front setback places the house in the wetland area. Wetland impacts can be avoided by increasing the permitted setback range for the house and attached garage. The applicant prefers a location on the open upland area of the property. A dense conifer screen has been established in that area that aids in minimizing views of the proposed residence. See the attached aerial photos. The house is shown with a front setback of about 270-feet, and staff suggests that the variance provide the same 15-foot setback range as allowed by Code to provide flexibility as excavation occurs.

The property has 60-feet of frontage on Sunview Court which was dedicated as part of the plat known as *Mardon Homes Addition*. This frontage was required to preserve the future development potential of the subject property and is the only portion of the property that has access onto a public road. Staff believes that this contributes to the unique circumstances, as the access drive to serve the property must cross the wetland area east of the public street.

The proposed single family house on this five acre parcel will not alter the character of the neighborhood. While the neighborhood is characterized by residential developments with higher densities than this proposal, and the driveway will alter the existing wetlands, staff believes that the vegetation remaining on the subject property will provide a dense screen limiting the visual impact. The large structure setback requested will aid in minimizing impact on the neighborhood.

COMMENTS

Notices of the applications were mailed to property owners within 350 feet of the property. Nine written comments were submitted and most express concerns about disturbing the existing natural environment, and impact on views and nearby residents. The comments are attached.

Rice Creek Watershed District
The property is located in the Rice Creek Watershed District (RCWD), and that agency is responsible for wetland issues. The applicant applied to the RCWD for a permit for the project, and conditional approval has been granted by the District. The applicant purchased wetland credits as mitigation for the wetland impact. The applicant is also required to provide compensatory storage for stormwater on the property, and that will require about 2300 sq. ft. of disturbed area to create the necessary low areas for continued water storage.

Staff has included a condition of approval requiring public easements over the delineated wetland and including a wetland buffer of 16.5 feet.

Lake Johanna Fire Departement
The Fire Marshal commented that the driveway is required to conform to provisions of the Fire Code, with a minimum clear height of 13-feet. No turn around is required on the property.

RECOMMENDATION

Staff has reviewed the proposal in accordance with the Rezoning criteria and Variance criteria. The proposed rezoning is consistent with the Comprehensive Plan and Development Code, and the proposed residential use will not adversely impact the existing and planned residential land uses in the area, so staff recommends the Commission forward the Rezoning application to the City Council with a recommendation for approval. Provided the Commission is also able to make affirmative findings for the rezoning, staff recommends approval of the variance request to increase the front setback range to 260-275 feet. Approval should be subject to the following:

Rezoning
1. A Development Agreement must be executed prior to the City's issuance of any permits for the project.

Variance
1. Approval of the variance is subject to the City Council approving the rezoning request.
2. The project shall conform to the approved plans. The dwelling shall have a minimum 260 foot and maximum 275 foot front setback.
3. Final utility plans are subject to review and approval by the Public Works Director.

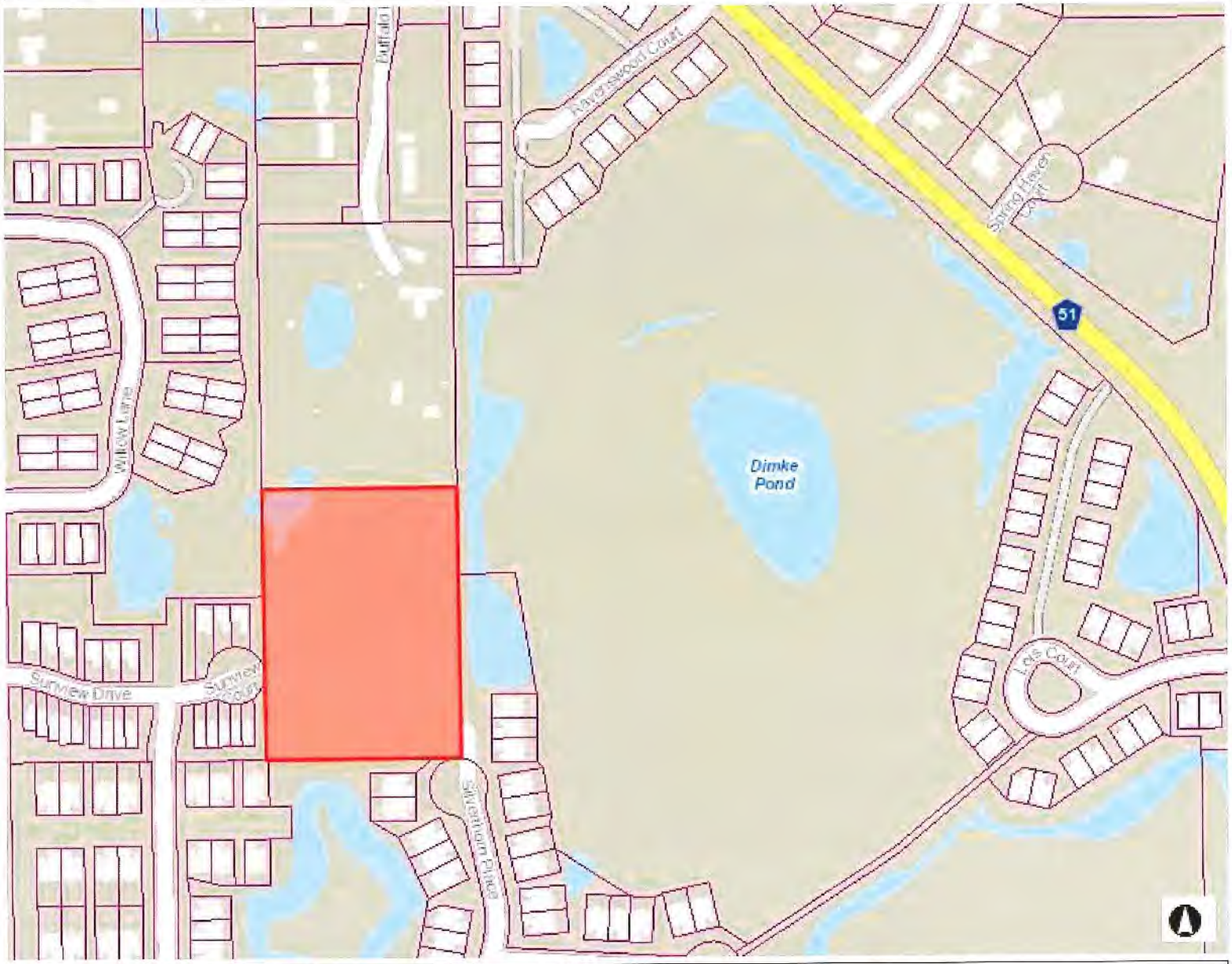
4. A Development Agreement, Erosion Control Agreement shall be executed and related securities submitted prior to any work commencing on the site. A Grading Permit is required prior to commencing work on the site.
5. An easement over the delineated wetland area, including areas created for compensatory stormwater storage, as well as a wetland buffer with a minimum 16.5 foot depth shall be conveyed to the City prior to the issuance of any permits for the project.
6. The landscape/tree-replanting plan shall be provided in accordance with the City's Tree Protection Ordinance. Trees on the property, which are to remain, shall be protected with construction fencing placed at the tree driplines prior to grading and excavating. Said plan shall be submitted for review and approval by the City Planner prior to issuance of any permits for the project.
7. This approval will expire after one year if a building permit has not been issued and work commenced.

Attachments
1. Location Map
2. Aerial Photos
3. Submitted Plans
4. Public Comments
5. Motion

T:/2016pcf/2618-16-17segler rezoning and variance

MapRamsey

Segler Rezoning



599.8 0 299.92 599.8 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries
- Airports

Notes

PID No. 033023420001

LOOKING EAST

LOOKING WEST

LOOKING E
WEST

LOOKING WEST

Legend

PDA Boundaries

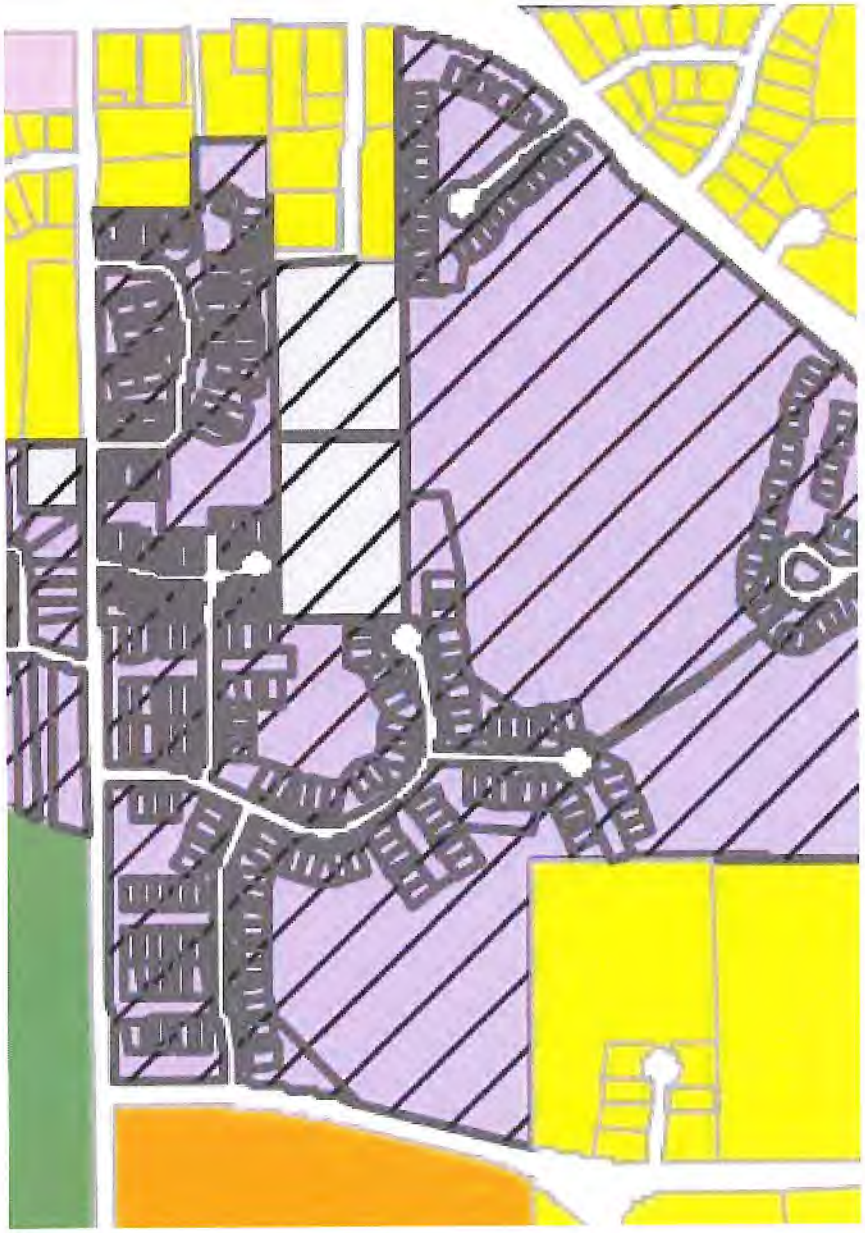
Planned Land Use

- Residential (up to 4 units/acre)
- Residential (4 - 8 units/acre)
- Residential (8 - 20 units/acre)
- High Density Senior Residential
- Office
- Commercial
- Mixed Use
- Business Park
- Tower
- Light Industrial
- Institutional
- Park
- Recreational Open Space
- Natural
- Railroad
- Open Water

Comprehensive Plan - Map 4.2, Planned Land Use

Zoning Classifications

- RE - Residential Estate
- R1- Detached Residential
- R2 - Attached Residential
- R3 - Multi-Dwelling Residential
- R4 - Mobile Home Residential
- C1 - Retail Service
- C2 - General Commercial
- OFC - Office
- I - Industrial
- T - Tower
- OS - Open Space
- PUD - Planned Urban Development
- UND - Urban Under Developed
- BPK - Business Park
- Water



Excerpt, Zoning Map, City of Shoreview

CERTIFICATE OF SURVEY

~for~ MAX SEGLER

PROPERTY DESCRIPTION:

(PER QUIT CLAIM DEED 5/29/2013, DOCUMENT NO. 4403678)

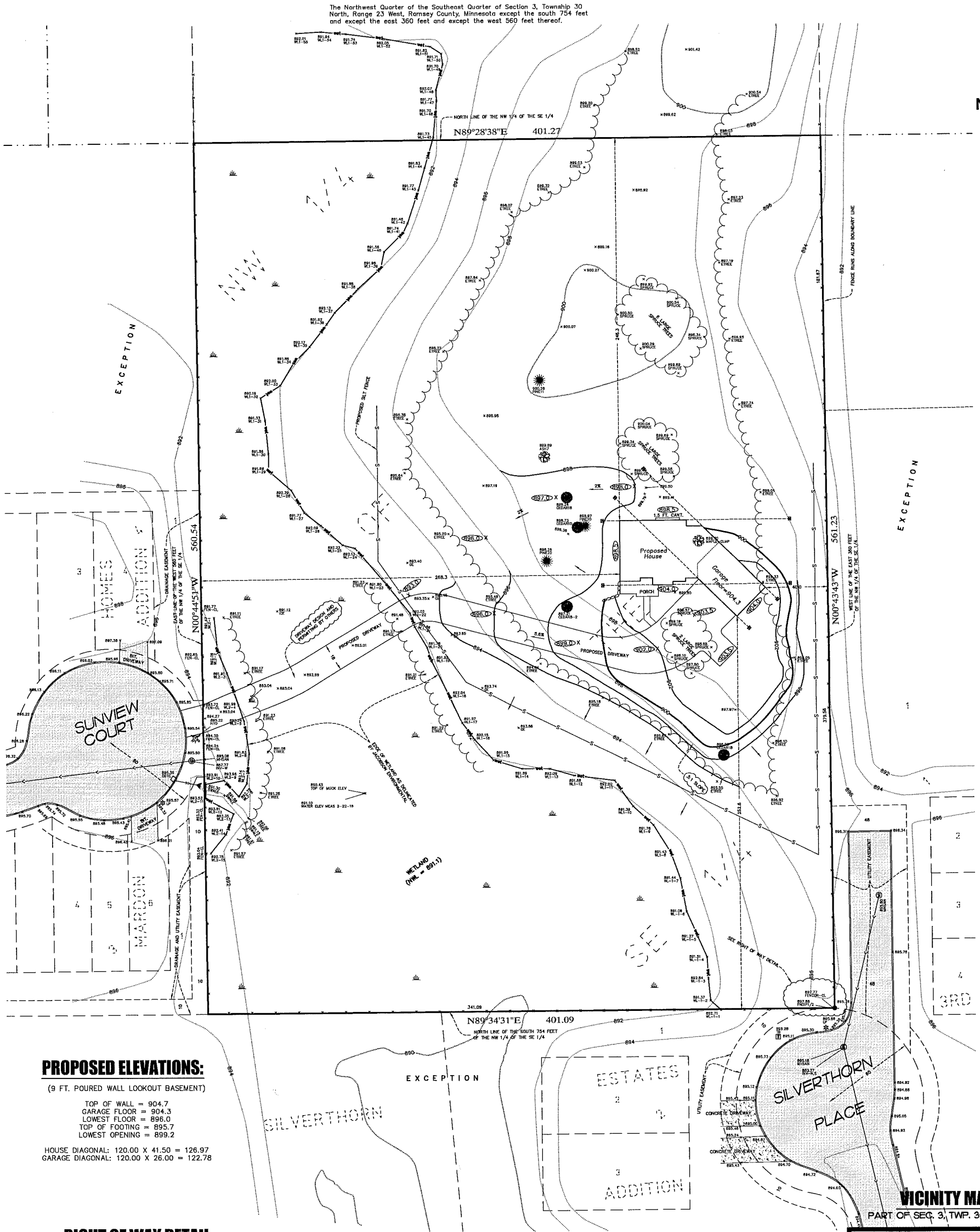
The Northwest Quarter of the Southeast Quarter of Section 3, Township 30 North, Range 23 West, Ramsey County, Minnesota except the south 754 feet and except the east 360 feet and except the west 560 feet thereof.

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

NORTH



PROPOSED ELEVATIONS:

(9 FT. POURED WALL LOOKOUT BASEMENT)

TOP OF WALL = 904.7
GARAGE FLOOR = 904.3
LOWEST FLOOR = 896.0
TOP OF FOOTING = 895.7
LOWEST OPENING = 899.2

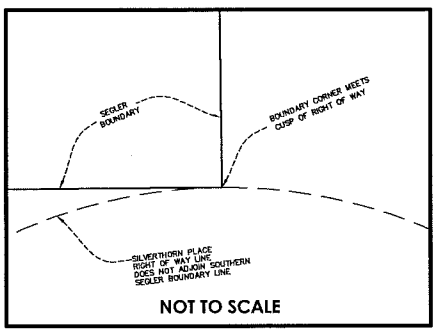
HOUSE DIAGONAL: 120.00 X 41.50 = 126.97
GARAGE DIAGONAL: 120.00 X 26.00 = 122.78

VICINITY MAP

PART OF SEC. 3, TWP. 30, RNG. 23

RAMSEY COUNTY, MINNESOTA
(NO SCALE)

RIGHT OF WAY DETAIL



NOT TO SCALE

NOTES:

- Field survey was completed by E.G. Rud and Sons, Inc. on 9/2/15.
- Curb shots are taken at the top and back of curb.
- Bearings shown are on Ramsey County datum.
- This survey was prepared without the benefit of current title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Benchmark: Ramsey County Benchmark No. 9110. Elevation = 889.96 (NAVD 88 datum)
- Contours shown are a compilation of LIDAR topography and existing site conditions.
- Parcel ID No: 03-30-23-42-0001.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES HYDRANT
- DENOTES CATCH BASIN
- DENOTES TELEPHONE PEDESTAL
- DENOTES SANITARY SEWER
- DENOTES FENCE
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOURS
- DENOTES TREE LINE
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- (1023) DENOTES PROPOSED ELEVATION.
- X 1011.2 DENOTES EXISTING ELEVATION.
- DENOTES DIRECTION OF DRAINAGE.
- DENOTES WOOD HUB/METAL SPIKE AT 11 FOOT OFFSET. (UNLESS OTHERWISE NOTED)
- DENOTES PROPOSED RETAINING WALL

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 5/18/2016 License No. 41578

E. G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
www.egrud.com
Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: BAB	JOB NO: 15563BT	DATE: 9/8/15	
CHECK BY: JER	SCANNED ☐		
1	2/23/16	ADD'L WETLAND AND TOPO	BAB
2	5/11/16	REVISE HSE LOCATION	BAB
3	5/18/16	ADD PROPOSED GRADES	BAB
NO.	DATE	DESCRIPTION	BY

15563BT

LAKE JOHANNA FIRE DEPARTMENT
5545 LEXINGTON AVENUE NORTH • SHOREVIEW, MN 55126
OFFICE (651) 481-7024 • FAX (651) 486-8826

May 19, 2016

Shoreview Planning Commission
Rezoning/Variance Application

Max Segler
Sunview Court Addition
Shoreview, MN 55126

File No. 2618-16-17

After receiving rough plans for this project, the fire department requests:

- The access road must be in accordance with Appendix D of the fire code
- The access road must be in accordance with Section 503.1 of the fire code
- The access road must maintain a clearance of obstruction no less than 13' in height
- A turn around will not be required

Sincerely,

Nate Berg
Fire Marshal/Deputy Chief
Lake Johanna Fire Department

Rice Creek Watershed District Permit Application Status Update

THIS IS NOT A PERMIT

Permit Application Number: **16-027**

Date of Board Action: 05/11/2016

Current Status: Conditionally Approved Pending Receipt Of Changes (CAPROC)

Please note the following:

- You are **not** authorized to begin site work until all pending items are satisfied as enumerated in the attached Engineer's Report. If project is initiated without obtaining an RCWD Permit, the project will be stopped by the District Inspector until the permit is obtained.

- You have **12 months** from the date of Board action to submit/satisfy all pending items and receive a permit. Otherwise the conditional approval expires and a new application will need to be submitted and considered by the Board. RCWD staff is not authorized to grant extensions.

- To satisfy pending items, applicants must submit **two (2) paper copies** of all submittal items to the District with the exception of plan sheets. Plan sheets must include **1 full-sized copies**, and **1 reduced size** (11 by 17 inches or smaller) or an **electronic file**.

- **Surety** - for surety amounts of $5000 or less, the applicant must submit a check made out to the RCWD. For surety amounts over $5000, the applicant must provide the first $5000 in the form of a check and has the option of providing the remainder of the surety amount in the form of a Letter of Credit (see website for template) or performance bond. An escrow agreement is required with the submittal of surety. (Public entities are not subject to surety obligations.)

- **Easements** – if an easement is required per your list of pending items in the attached Engineer's Report, then the legal descriptions of these easements must be prepared by the applicant, reviewed and approved by the District, and then submitted to the County Recorder's Office for recording. An easement template is on the website.

- **Wetland Conservation Act Forms** - For projects involving wetland impacts and replacement, State law requires the preparation and recording of Wetland Legal Forms for replacement wetlands. Instructions for completing and recording these forms are included in the wetland legal forms document on the website. The wetland legal documents require the applicant to prepare legal descriptions of all replacement wetlands. These legal descriptions and the forms must be reviewed and approved by the District prior to submittal to the County Recorder's Office for recording.

- **Stormwater Operation & Maintenance** - For projects involving stormwater ponds and infiltration features, applicants must complete and record a Stormwater Operation and Maintenance Agreement (see website for template) for these features unless a City assumes the maintenance responsibilities of these features as indicated in an agreement with the District. An exhibit and/or legal description that clearly delineates and identifies all stormwater and infiltration features must accompany the stormwater operation and maintenance agreement. A draft of this agreement with accompanying exhibit must be submitted to the District for review and approval prior to submission to the County Recorder's office.

cc:

- City of Shoreview;
- Max Segler (321 University Ave SE) MN 55414 max@tyconco.com;
- Adam Ginkel (Plowe Engineering, Inc.), 6776 Lake Drive Suite 110, Lino Lakes, MN 55014 adam@plowe.com;
- Wayne Jacobson (Jacobson Environmental), 5821 Humboldt Ave North, Brooklyn Center, MN 55430 jacobsonenv@msn.com

City Council:
Sandy Martin, *Mayor*
Emy Johnson
Terry Quigley
Cory Springhorn
Ady Wickstrom

Shoreview

City of Shoreview
4600 Victoria Street North
Shoreview MN 55126
651-490-4600 phone
651-490-4699 fax
www.shoreviewmn.gov

May 5, 2016

REQUEST FOR COMMENT

Dear Shoreview Property Owner:

Please be advised that on **Tuesday, May 24 at 7:00 p.m.**, the Shoreview Planning Commission will review an application to Rezone a vacant parcel located on the east side of the Sunview Court cul-de-sac, and to review a variance request to increase the front setback for the future new house. The applications have been submitted by **Max Segler.** See the attached location map. The applicant proposes to rezone the property from UND, Urban Underdeveloped District to R-1, Detached Residential District.

The property has an area of approximately 5 acres and frontage on Sunview Court. The rezoning is necessary to permit the future construction of a new single-family residence on the property. Please see the attached lot survey.

A variance is required in order to locate the house on the upland area of the property. City Code specifies a minimum front (west) setback of 25-feet and a maximum of 40-feet. The proposed house will be located about 200-feet from the front lot line and a variance is necessary to increase the setback.

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The agenda and staff report to the Planning Commission will be available on the City website by May 20th. Please use the following weblink if you wish to review this information: www.shoreviewmn.gov/pc/documents. If you would like more information or have any questions, please call me at 651-490-4681 between 8:00 a.m. and 4:30 p.m., Monday through Friday. You may leave a voice mail message at any time. I can also be reached via e-mail at rwarwick@shoreviewmn.gov.

Sincerely,

Rob Warwick

Rob Warwick
Senior Planner

RECEIVED
MAY 19 2016
BY:

Comments: 1. WHAT IS EXACT SIZE OF STRUCTURE? SINGLE HOUSING OR MORE? HOW MANY LEVELS? ONE, TWO, OR SPLIT? MORE
2. WHO IS PATING FOR NEW ROAD & MOVING FIRE HYDRAN
3. HOW LONG WILL THIS TAKE PLACE? DNR APPROVAL?

T:/2016 pcf/2618-16-17/segler neighborhood notice

Name: Maggie Rosine
Address: 5718 SILVERTHORN PLACE

3A. IF YOU MOVE LAND WILL YOU PUT BACK TREES REMOVED
4. WHAT ABOUT DISRUPTION OF WETLANDS, NOISE & DUS TO NEIGHBORHOOD?

City Council:
Sandy Martin, *Mayor*
Emy Johnson
Terry Quigley
Cory Springhorn
Ady Wickstrom

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Sincerely,

Rob Warwick

Rob Warwick
Senior Planner

RECEIVED
MAY 19 2016
BY:

Comments: We would be opposed to this re-zoning. The property is not similar to the townhouses + condos in the area. More importantly, it will disrupt + destroy wetland and "wild" area that currently exists.

T:/2016 pcf/2618-16-17/segler neighborhood notice

Name: JOSEPH COSGROVE / BARBARA BACH
Address: 5690 DUNLAP AV. N

City Council:
Sandy Martin, *Mayor*
Emy Johnson
Terry Quigley
Cory Springhorn
Ady Wickstrom

Shoreview

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Sincerely,

Rob Warwick

Rob Warwick
Senior Planner

RECEIVED
MAY 19 2016
BY:

Comments:
We ask that Shoreview deny both rezoning and Variance for this parcel, essentially an integral portion of a wetland

T:/2016 pcf/2618-16-17/segler neighborhood notice

Name: Harlan Strieker and Marlene Strieker
Address: 5770 Willow Lane North, Shoreview

City Council:
Sandy Martin, *Mayor*
Emy Johnson
Terry Quigley
Cory Springhorn
Ady Wickstrom

Shoreview

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May 5, 2016

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Sincerely,

Rob Warwick

Rob Warwick
Senior Planner

RECEIVED
MAY 19 2016
BY:

Comments:
I SEE NO PROBLEM WITH THIS CONSTRUCTION, FROM THE DESCRIPTION. NOTE MAJOR INVESTIGATION ON STREAMS AND PONDS IN THE AREA. ANY EFFECT ON THE WATER TABLE COULD BE A DISASTER FOR CURRENT TOWNHOMES OF WILLOW CREEK.

T:/2016 pcf/2618-16-17/segler neighborhood notice

Name: ROBERT A. PERELON
Address: 5760 WILLOW LN.

City Council:
Sandy Martin, *Mayor*
Emy Johnson
Terry Quigley
Cory Springhorn
Ady Wickstrom

Shoreview

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Sincerely,

Rob Warwick

Rob Warwick
Senior Planner

The proposed driveway will cut across an area of "emergent wetlands" which connects to the Drainage Easement outside the southern boundary of the Segler parcel. The Southwestern corner of the parcel is a low_lying area with pockets of standing water.
I request the Planning Commission consider attaching a condition to Rezoning related to Surface Water Management in the SW portion of the parcel in order to mitigate the adverse impact that development and/or construction will have on water drainage out of that area.
Lise Petrich
5698 Dunlap Ave. N.

T:/2016 pcf/2618-16-17/segler neighborhood notice

Name: _____
Address: _____

City Council:
Sandy Martin, *Mayor*
Emy Johnson
Terry Quigley
Cory Springhorn
Ady Wickstrom

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Sincerely,

Rob Warwick

Rob Warwick
Senior Planner

Comments: As long as no wetlands are drained Mr Segler new house construction is ok. with us.

T:/2016 pcf/2618-16-17/segler neighborhood notice

RECEIVED
MAY 10 2016

Name: ED + LYNN FISCHBACH
Address: 1315 SUNVIEW DR.

RECEIVED
MAY 13 2016
BY:

May 11, 2016

To Mr. Rob Warwick, Senior Planner:

In 2001, I purchased my townhouse at 5705 Silverthorn Place with the assurance that the land in question is protected and will never be developed because it is considered to be "wetlands". Why isn't the DNR part of this investigation? Has the classification of this land changed over the past 15 years? Is it my responsibility to contact the DNR to protect my rights and that of the natural habitat? The proposed development will severely impact the beauty of the organic landscape, serenity and wildlife. Furthermore, how will this proposed plan affect the watershed management? In turn, the development will decrease the value and aesthetics of my property and the Silverthorn Estates community, as a whole. I, thoroughly, oppose the interruption of this beautiful land!

Sincerely,

Patricia Haggerty

Patricia Haggerty

5705 Silverthorn Place
Shoreview, MN 55126
651-784-3577

RECEIVED
MAY 18 2016
BY:

May 19, 2016

Dear Rob Warwick:

Thank you for returning my call last week in regard to the proposed development of the land next to my property at Silverthorn Estates in Shoreview. I apologize as phone issues had abruptly ended our conversation. The purpose of this letter is to recap our Friday, May 13, 2016 phone discussion, as well as, address additional questions and comments.

1. As I had mentioned, we are shocked to learn that the dormant property next to our townhouse in Shoreview is not protected by the DNR/government and that it is private and not public land. Aren't wetlands categorized as wetlands whether or not they are public property or privately-owned?
2. Due to various overt mis-representations, I purchased our townhouse within the Silverthorn Estates community as a result of statements and advertising that defined it to be "a premium location next to wildlife area." Hearing that this area is not protected completely dislodges me from my comfort zone, possibly affects our property value, and will serve as a rather distinct implication for "Buyers Beware."
3. We are saddened, feel blindsided and without a voice in regards to this suggested change. We have enjoyed the last 15 years in the belief that we would experience the beauty of the natural habitat for many years to come. Your comment that I should feel grateful to have had 15 years to enjoy the "Segler" land did not make me feel better because, again, I was sold this townhouse with the information that I had countless years to do just that (we have enclosed the Realtor's property information sheet that was provided at the viewing-it is the second selling point!).
4. I am encouraged that the RCWD board professionals are involved to establish the feasibility of the proposed development. Hopefully, they will determine that the land is "un-build-able"- at least, the lion's share of it. In turn, mature trees will not have to be sacrificed for flood storage, our watershed will remain healthy, and the property will remain undeveloped sustaining a serene relationship with the land.
5. If the proposed work powers forward, please reiterate who will be responsible/liable if we encounter flooding or other difficulties as a result of the Segler development. We would like something in writing regarding this for reference' sake. Also, we would like to know which trees will be removed from the private property land as this will impact the natural border of the Silverthorn Estates property. Please provide a plan so we are aware of the extent of the changes enabling us to make the necessary additions to allow for our supplementary privacy needs due to this abrupt change in scenery.
6. What is the timing and duration of the construction? Will we face added traffic, parked vehicles, etc. during the home construction period? In the short term, at least, it will cause quite a bit of disruption to our lives. This is definitely not the ideal direction for promoting happiness and tranquility and demonstrates our "open vulnerability" and seeming lack of rights.

7. Can you guarantee that only one home will be built upon the land? Or, is this going to be at the discretion of the Segler family, if they are granted your approval for the variance?
8. Long-term ramifications of the proposed rezoning of this property can be viewed as "on par" with the national and the world's inflicted harm on nature and the environment with the resultant global warming phenomenon. Specific removal of the property's trees, covering wetlands with fill for roads, and the displacement of nature's animals who had safe harbor in this area will take place. We are not good stewards of Mother Earth!
9. In his recent Encyclical Letter on Care for our Common Home (Mother Earth), Pope Francis states that "by stripping the earth of its natural forests or destroying its wetlands; for human beings to contaminate the earth's waters, its lands, its air, and its life..." It is a crime against the natural world and is considered to be wrong! I truly hope and pray that the City of Shoreview will weigh this decision carefully and come to the best solution for the environment and not simply agree to the proposed change because it CAN be done and meets with the necessary requirements. Pope Francis asks us "to replace consumption with sacrifice and to end continuously committing harm to the natural world."

We believe that the charm of Shoreview, which truly sets it apart from most cities, is the evident protection and respect shown towards the natural habitat, the wetlands/ marshlands, and the wildlife (even those you had noted as negative-raccoons, squirrels, foxes, etc.). If human beings continue to destroy the natural habitat, there will be nothing left for our children and grandchildren to enjoy, admire and revere. Bottomline, we wish the Seglers well and think that the desire to provide their children/grandchildren with the same storybook home sanctuary is a wonderful intention. But, at what cost to our environment, the neighborhood and the wildlife? Development is not always a good thing!

Thank you for your time and consideration.

Sincerely,

Patricia Haggerty Maureen Haggerty

Patricia Haggerty and Maureen Haggerty
5705 Silverthorn Place
Shoreview, MN 55126

cc:
Craig Larson, President of the Silverthorn Estates Board
Dave Kill, Vice President of the Silverthorn Estates Board
Marsha Linden, Member of the Silverthorn Estates Board
Terry Quigley, City of Shoreview Councilmember and Resident of Silverthorn Estates

Enclosure

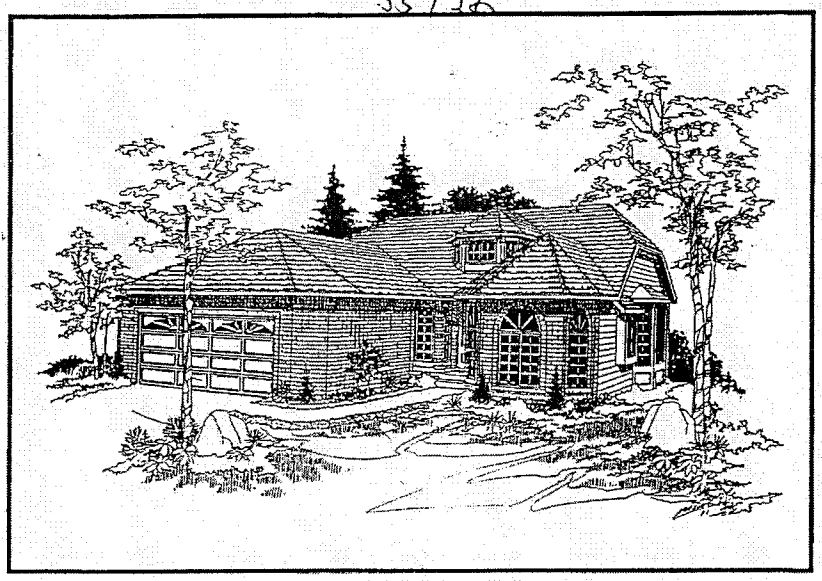
Home Profile

A Metropolitan Financial company.

5705 Silverthorn Place, Shoreview, MN $240,000.00

55126

October 31, 2001



Highlights

TOWNHOUSE

- Beautifully decorated end-unit
- Premium location next to wildlife area
- Living room and den overlook pond
- Large den opens to patio
- Huge walk-in closet in master
- Walk-in closet in guest room
- Parquet floor in master bedroom
- Vaulted ceiling in living room/dining room

- Living Room/Dining Room .. 16x28.9
- Kitchen 12.6x12
- Informal Dining 9.6x12
- Master Bedroom 15x18
- Guest Room 11x13.6
- Den/Bedroom 13x16
- Laundry 14x6
- 1958 square feet

- Year built: 1989
- Taxes: $[redacted] $3190.00
- Association dues: $[redacted] $124.00
- Style: One-level townhome
- Exterior: Brick and country wood aluminum siding
- Two-car attached garage with opener
- Brick fireplace in living room
- Includes dishwasher, stove, garbage, disposal, washer and dryer

David & Vicki Ylkanen
651-783-3815

Property of Coldwell Banker Burnet, Realtors

City Council:
Sandy Martin, *Mayor*
Emy Johnson
Terry Quigley
Cory Springhorn
Ady Wickstrom

Shoreview

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RECEIVED
MAY 19 2016
BY:

May 5, 2016

REQUEST FOR COMMENT

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Sincerely,

Rob Warwick

Rob Warwick
Senior Planner

Comments: THIS SOUNDS LIKE A VERY LARGE VARIENCE REQUEST.
DON'T APPROVE OF A ROAD BEING BUILT OVER WETLANDS
OR TREES BEING CUT DOWN.

WANT TO SEE BETTER PLANS. HOUSE LOCATION ON MAP
SUBMITTED DOESN'T LOOK 235 FEET FROM WEST OR 230 FEET
FROM SOUTH OR 50 FEET FROM EAST.

T:/2016 pcf/2618-16-17/segler neighborhood notice

Name:
Address:

Eleanor Semenko
5705 SUNVIEW PLACE

RECEIVED
MAY 19 2016

May 19, 2016
TO: Shoreview Planning Commission
FROM: Donald K. Brazeal, homeowner in Sunview Townhomes (address below)
SUBJECT: Max Segler proposal and setback variance for access to Sunview Court

This setback variance request and related implementations pose significant potential damage to the essential character of the Sunview Court and Drive neighborhood. This two-block neighborhood is characterized by an intimate, inviting and open atmosphere. With the 23 townhomes, there are no fences and no gates. The driveways are compact, have no guard rails and have no rock or aggregate shoulders. The neighborhood has two large open areas where access is readily available to everyone. There is a public trail running through one of the open areas.

The Segler proposal includes a much longer and wider roadway than the existing driveways. Homeowners have not been given a full explanation of how that roadway/driveway will be constructed, but there are some prospective outcomes that would dramatically alter the character of the neighborhood.

1. Would the driveway be gated as has been suggested by city officials? Would that gate be connected to an existing military-base style fence? At the north (Buffalo Lane) access to the Segler property, there is a metal gate about eight feet tall that is both obtrusive and unattractive. Would this be similar? (*see attached photo*)
2. Would that existing fence, which is seven feet in height, continue to include strands of barbed wire at the top? The existing, rusted fence is an eyesore, but at least now it is the endpoint to the neighborhood and partially concealed by vegetation.
3. The driveway, apparently, would be raised at least two feet above existing high water levels and would have wide shoulders. Will the roadway have guard rails and of what style? Will it match the surface material of the other driveways?

(The driveway plan presented to the city includes a floodplain mitigation site that will "strip and rough grade" trees and other vegetation in one of the most conspicuous areas viewed from Sunview Court. Could it be located to an area with less visual impact?)

Answers or clarifications on such issues should be made available for public comment before the commission makes a decision on this variance. If the Max Segler property wants to "join the neighborhood" via the setback exemption, then the property should present an image of a front yard – not a guarded compound or industrial zone.

It is perhaps notable that for decades access to this 5-acre Segler plot has been through existing driveways/roadways to the north and connecting to Buffalo Lane. Indeed, as recently as last fall, trucks and equipment entered the property through that access point to cut down and remove numerous large evergreen trees.

DONALD K. BRAZEAL ▪ 1291 SUNVIEW COURT ▪ SHOREVIEW, MINN. 55126

Existing Buffalo Lane gate to north entrance of Segler property.

EXTRACT OF MEETING MINUTES FOR THE SHOREVIEW, MINNESOTA PLANNING COMMISSION HELD MAY 24, 2016

* * * * * * * * * * * * *

Pursuant to due call and notice thereof, a meeting of the Planning Commission for the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 p.m.

The following members were present:

And the following members were absent:

Member _____ introduced the following resolution and moved its adoption.

RESOLUTION NO. 16-45 TO INCREASE THE SETBACK FROM THE FRONT LOT LINE

WHEREAS, Max Segler has submitted a variance application for the following described property:

The Northwest Quarter of the Southwest Quarter of Section 3, Township 30, Range 23 West, Ramsey County, Minnesota, except the south 754 feet and except the east 360 feet and except the west 560 feet thereof.

(This property has PID No. 03-30-23-42-0001)

WHEREAS, the Development Regulations require a front setback range between 25 feet and 40 ft. setback from the front property line; and

WHEREAS, the applicants have requested a variance to this requirement increasing the front setback to a range between 260 feet and 275 feet for a new house; and

WHEREAS, the Shoreview Planning Commission is authorized by state law and the City of Shoreview Development Regulations to make final decisions on variance requests.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance request submitted by Max Segler be approved on the basis of the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.* The proposed construction of a new house and attached garage represents a reasonable use of residential property.

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.* Unique circumstances stem from the size of the property and the road frontage for the property abutting a wetland area. The required setback would located the house in the wetland area. Increasing the setback as requested places the house on an upland area well screened from nearby development. These circumstances are unique to the property.

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.* The proposed setback should not alter the character of the neighborhood, since the setback will result in a house location screened from view of nearby residences.

NOW, THEREFORE, BE IT FURTHER RESOLVED BY THE SHOREVIEW PLANNNING COMMISSION that the variance requested by Max Segler be approved subject to the following conditions:

1. Approval of the variance is subject to the City Council approving the rezoning request.
2. The project shall conform to the approved plans. The dwelling shall have a minimum 260 foot and maximum 275 foot front setback.
3. Final utility plans are subject to review and approval by the Public Works Director.
4. A Development Agreement, Erosion Control Agreement shall be executed and related securities submitted prior to any work commencing on the site. A Grading Permit is required prior to commencing work on the site.
5. An easement over the delineated wetland area, including areas created for compensatory stormwater storage, as well as a wetland buffer with a minimum 16.5 foot depth shall be conveyed to the City prior to the issuance of any permits for the project.
6. The landscape/tree-replanting plan shall be provided in accordance with the City's Tree Protection Ordinance. Trees on the property, which are to remain, shall be protected with construction fencing placed at the tree driplines prior to grading and excavating. Said plan shall be submitted for review and approval by the City Planner prior to issuance of any permits for the project.

7. This approval will expire after one year if a building permit has not been issued and work commenced.

The motion was duly seconded by Member _____ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 24th day of May 2016.

_____
John Doan, Chair
Shoreview Planning Commission

ATTEST:

_____
Rob Warwick
Senior Planner

SEAL

ACCEPTANCE OF CONDITIONS:

_____
Max Segler

t:\2016 planning case files\2618-16-17 segler resol 16-45.doc

PROPOSED MOTION
TO APPROVE

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To recommend the City Council approve the Rezoning request submitted by Max Segler for PID No. 03-30-23-42-0001, and to adopt Resolution No. 16-45, approving the variance to increase the front setback to a range with a minimum of 260 feet and a maximum of 275 feet for a new house and attached garage on this vacant 5-acre parcel. This approval is subject to the following conditions:

1. Approval of the variance is subject to the City Council approving the rezoning request.
2. The project shall conform to the approved plans. The dwelling shall have a minimum 260 foot and maximum 275 foot front setback.
3. Final utility plans are subject to review and approval by the Public Works Director.
4. A Development Agreement, Erosion Control Agreement shall be executed and related securities submitted prior to any work commencing on the site. A Grading Permit is required prior to commencing work on the site.
5. An easement over the delineated wetland area, including areas created for compensatory stormwater storage, as well as a wetland buffer with a minimum 16.5 foot depth shall be conveyed to the City prior to the issuance of any permits for the project.
6. The landscape/tree-replanting plan shall be provided in accordance with the City's Tree Protection Ordinance. Trees on the property, which are to remain, shall be protected with construction fencing placed at the tree driplines prior to grading and excavating. Said plan shall be submitted for review and approval by the City Planner prior to issuance of any permits for the project.
7. This approval will expire after one year if a building permit has not been issued and work commenced.

This approval is based on the following findings:

1. The proposed improvements are consistent with the Housing and Land Use Chapters of the Comprehensive Plan.
2. The proposed house and attached garage represent a reasonable use of the property which is located in the R-1 Detached Residential District.
3. Unique circumstances stem from the size of the property, and the wetland abutting the public street at the front property line. The increased setback minimizes wetland impacts.
4. The new construction will not stand out among the existing residences in the area since the proposed house is setback from the street and well screened by mature trees.

VOTE: **AYES:** _____ **NAYES:** _____

Regular Planning Commission Meeting
May 24, 2016

t:\2016pcf/2618-16-17 segler motion/PC motion

TO: Planning Commission

FROM: Kathleen Castle, City Planner

DATE: May 20, 2016

SUBJECT: File No. 2615-16-14, Sidal Realty/NABC – Site and Building Plan Review/Comprehensive Sign Plan, 4XX Highway 96

Introduction

Sidal Realty Corp. LP/North American Banking Company (NABC) is proposing to redevelop the commercial parcel adjacent to 441 Highway 96 which is legally described as Lot 2, Block 1, Crossroads Pond Second. The redevelopment consists of a 7,377 square foot commercial building that will be occupied by a bank and insurance agency. The proposal requires Site and Building Plan Review and a Comprehensive Sign Plan.

Previous Land Use Approvals

Earlier this year, the City Council approved an amendment to the Planned Unit Development (PUD) and Plat for the redevelopment of this property. The amended PUD permits the re-use of the existing 68,000 square foot building by Kowalski's Companies, Inc. Kowalski's is consolidating their business operations and the building will be used for their kitchen/bakery operations, warehousing and distribution as well as a grocery store and related retail uses. The C1, Retail Service District is the underlying zoning district for the PUD.

The approved plat created two parcels:

Lot 1 – consisting of 9.2 acres, containing the Kowalski's facility, northern half of the parking lot and the wetland and storm pond area to the west.

Lot 2 –consisting of 1.5 acres, developed with parking and intended for future commercial development.

Easements and related agreements were required to address the shared driveway, access, signage and private infrastructure that exist between Lots 1 and 2.

Comprehensive Plan

The property's designated land use in the Comprehensive Plan is C, Commercial. The commercial designation is intended for a variety of service, office and retail uses. The existing and proposed use of the property is consistent with the commercial land use designation. Policies in Chapter 4, Land Use and Chapter 6, Economic Development support reinvestment in commercial areas.

The property is also in Policy Development Area (PDA) #10, Highway 49 and 96. Certain areas within the City that present opportunity or pose concern for development have been identified as PDA's. The use of the PDA concept allows the City to require more specific development policies than would generally be applied to development proposals for other areas. These policies, together with the land use designation set the City's official land use policy for the site.

Specific policies identified for the northwest corner of the PDA address concern about the impact of big box retail on the adjoining residential neighborhood. Future commercial uses should serve a community-wide need and must address issues associated with internal traffic circulation, access driveways and parking. Preferred uses that are identified include a sit-down restaurant, office and financial institutions.

Development Code - Zoning

While the underlying zoning district is C1, Retail Service (Section 205.042), the approved PUD also identified permitted uses that would be acceptable for the property, using the C1 District as a base. These permitted uses include office and professional services, retail service and other uses allowed in the C1 zoning district. The agreement also specifies uses that are prohibited and not seen as desirable for this location. The proposed use of the building for a financial institution and insurance agency is consistent with the PUD agreement and C1 zoning.

Site Characteristics

The property has a lot area of 1.5 acres and is located on Highway 96, south of the Kowalski's facility. Access to the parcel is gained from a shared driveway at a signalized intersection with Village Center Drive in North Oaks and from an access driveway off of Highway 96. The property is currently developed with a parking lot that previously served the former Rainbow grocery store.

Nearby land uses include Oak Hill Montessori School to the north which has an O, Office zoning designation. The property to the west is zoned PUD – with a funeral home and R1, Detached Residential - with single family homes. Immediately to the south across Highway 96 is Scandia Shores – a senior housing facility, which is zoned PUD. To the immediate east there is a car-wash, gas-station and Dairy Queen. Across Highway 49 further to the east, is the City of North Oaks which is developed with a variety of commercial and/or business related land uses.

Site and Building Plan Review

The intent of the Site and Building Plan Review is to provide the City with the opportunity to review the proposed development plans in accordance with the Comprehensive Plan, Development Code and approved PUD via a public review process. The proposed use and site development are consistent with the Comprehensive Plan, PUD and the underlying C1 zoning.

Site Plan

The proposal is to redevelop this lot with a 7,377 square foot commercial building that will be located on the east side of the property. The structure has been placed on the eastern side of the property to preserve visibility of the Kowalski's building from the Highway 96 corridor. Access will be gained through the shared driveway from the Hodgson Road/Village Center Drive intersection and from Highway 96. The parking lot is located to the west of the building. There is also a drive-through lane proposed that provides access to the east side of the building from the south. The drive-through offers limited services and includes an ATM machine and a depository box.

The proposed building location complies with the setback requirements of the C1 zoning district (205.042 (D2)).

Property Line	Minimum Structure Setback Required	Proposed Structure Setback
Front	50 feet	65.8 feet
Side	10 feet	East – 43.9 feet West – 210 feet
Rear	20 feet	31.2 feet

Architectural Design
The building is designed as one-story and has an exterior finish using brick, stone, pre-finished metal and glass. One entry-way is provided to the building's interior and is defined by an increased height, building projection and the use of stone. The design and building materials compliment the approved design for the Kowalski's building which also utilizes brick, stone and glass. The design complies with the City's architectural design standards (Section 206.050).

Parking
The parking lot will be reconfigured for the site development. Excess parking from the original parking lot will be removed and replaced with green space. The shared access driveway from Highway 96 will be better defined through the use of landscape islands. The proposed parking lot complies with the minimum setbacks required from all property lines with the exception of the property line to the north. Again, access easements are in place that recognize the cross-traffic that will occur between this property and the adjoining Kowalski's site.

The off-street parking lot provides 46 parking stalls which exceeds the minimum 32 stalls required (Section 206.020) In staff's opinion, the proposed parking is suitable due to the mix of land uses within the PUD and the potential for shared parking between the uses. The redevelopment of the Kowalski's site did recognize that the parking provided on the parcel was slightly under the 223 stalls required with 212 stalls proposed. The number of stalls provided for Kowalski's will not change as a result of this development proposal.

Access Improvements
While the primary access points to the site will remain, the project includes improved access from Highway 96 via a new free left-turn lane from eastbound Highway 96 to serve the property. This enhanced turn-lane is currently under construction.

Stormwater Management
The property is located in the Ramsey-Washington Metro Watershed District and may require a permit from the district. Impervious surface coverage for the site is being reduced from 87% to 68% and complies with the maximum 75% permitted for the C1 district (205.042 (D3)).

Landscaping
As part of the previous PUD approvals, a landscape plan was approved that included re-landscaping along the Highway 96 corridor. The submitted plan incorporates these improvements but also includes landscaping within the parking lot and adjacent to the building.

The parking area has been modified since the landscape plan was prepared and provides more green space around the perimeter of the site and along the common drive aisle. The staff is recommending additional plantings be provided west of the parking lot and in the landscape

island to enhance the entryway, provide screening and shade (Section 206.010 (G-J), Section 206.020 (A1)).

Comprehensive Sign Plan

Previous approvals for this PUD did include a Comprehensive Sign Plan package (Section 208.060) that identified two new freestanding signs at the entrances of Highway 96 and Highway 49 which included signage for the future tenants on this property. Another Comprehensive Sign Plan is needed for the proposed multi-tenant building. An approved Comprehensive Sign Plan may vary from the design and dimensional standards set forth in the Sign Code without approval of a formal variance, provided it would result in attractive signage that is compatible with the premises and with adjoining development.

Wall Signs (Section 208.040 (B18))

Six wall signs (3 per tenant) are proposed with one sign each on the north, west and south building elevations. This requires a deviation from the City's sign standards as a maximum of one wall sign is permitted unless the structure faces two or more arterial roads. Deviations are also needed for the total sign length on the west, south and north building elevations as identified by the (*) in the table below.

Building Elevation	Sign Area	Sign Length
West (Front)	***245.5 square feet permitted***	***21.35' feet permitted***
NABC	90.94 square feet	22.5 feet
JWT Insurance	44.74 square feet	12.3 feet
Total	***135.68 square feet***	***34.8 feet****
South (Side)	***157.6 square feet permitted***	***13.7 feet permitted***
NABC	90.94 square feet	22.5 feet
JWT Insurance	44.74 square feet	12.3feet
Total	***135.68 square feet***	***34.8 feet****
North (Side)	***157.6 square feet permitted***	***13.7 feet permitted***
NABC	90.94 square feet	22.5'
JWT Insurance	44.74 square feet	12.3'
Total	***135.68 square feet***	***34.8 feet****

***Deviation required**

The sign band is located on the top tier of the building walls, above the windows. The walls signs proposed include a combination of individual letters and cabinet style signage that are internally lit. Colors are similar utilizing blue for both tenants. The required deviations for sign length do not result in signage that is overbearing for the building.

In staff's opinion, the number of proposed signs is reasonable due the orientation of the building and site access from the north and south.

Public Comment and Agency Review

The City notified property owners within 350 feet of the development. The Lake Johanna Fire Department reviewed the plans and had no comments. The Ramsey Washington Metro

Watershed District has been notified of the project and a permit may be required since more than 1 acre of land will be disturbed. No other comments have been received.

Recommendation

The submitted plans were reviewed in accordance with the approved PUD and the City's development standards, land use policies and sign regulations for this site. The proposed redevelopment of this property with a commercial building is consistent with the underlying C1 zoning and the PUD. Staff is recommending the Planning Commission recommend the City Council approve the Site and Building Plan Review and Comprehensive Sign Plan, subject to the following conditions:

Site and Building Plan Review

1. This approval permits the development of this parcel with a multi-tenant commercial building as identified in the plan submittal.
2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
4. The items identified in the memo from the City Engineer must be addressed prior to the issuance of a building permit.
5. The exterior of the trash enclosure shall be of a material that compliments the commercial building.
6. Prior to submittal of the Building Permit application, the applicant shall revise the landscape plan to include additional plantings along the west side of the parking lot and in the landscape islands.
7. A permit shall be obtained from the Ramsey Washington Metro Watershed District, if required, prior to the issuance of a building permit for this project.
8. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

Comprehensive Sign Plan

1. The signs on the property shall comply with the plans submitted for the Comprehensive Sign Plan application.
2. Signage shall be maintained in accordance with the City's Sign Code.
3. The applicant shall obtain a sign permit prior to the installation of the new signs on the property.

Attachments:

1. Memo – May 13, 2016 – City Engineer
2. Location Map
3. Applicant's Statement and Submitted Plans
4. Comments Received
5. Motion Sheet

Date: May 13, 2016

To: Kathleen Castle, City Planner

From: Tom Wesolowski, City Engineer

Subject: Site & Building Plan Review Application
North American Bank – Highway 96

The City of Shoreview Engineering staff has reviewed the preliminary plan submittal for the North American Bank building dated April 25, 2016. The Engineering staff has the following comments regarding the proposed development:

1. The proposed project is located within the Ramsey-Washington Metro Watershed District (RWMWD). The project will disturb more than 1-acre and may require a permit from the RWMWD. The City requires that all information that is submitted to the RWMWD, as it relates to the proposed development, also be sent to the City of Shoreview. The applicant sent a letter to the RWMWD on April 22, 2016, but has not received a response on whether a permit would be required.

2. Plan Sheet C-4.0

    a. The plans show the water service line connecting to an existing stub. A review of the plans for the Highway 96 reconstruction show that a hydrant was removed in that location and the stub and valve were abandoned in place. The City does not know the condition of the stub or valve, so the developer should be aware that the valve or portions of the stub may need to be replaced.

    b. The City requires that the service line for the fire suppression system and the service line for domestic supply be separated outside the building with valves located on each service line.

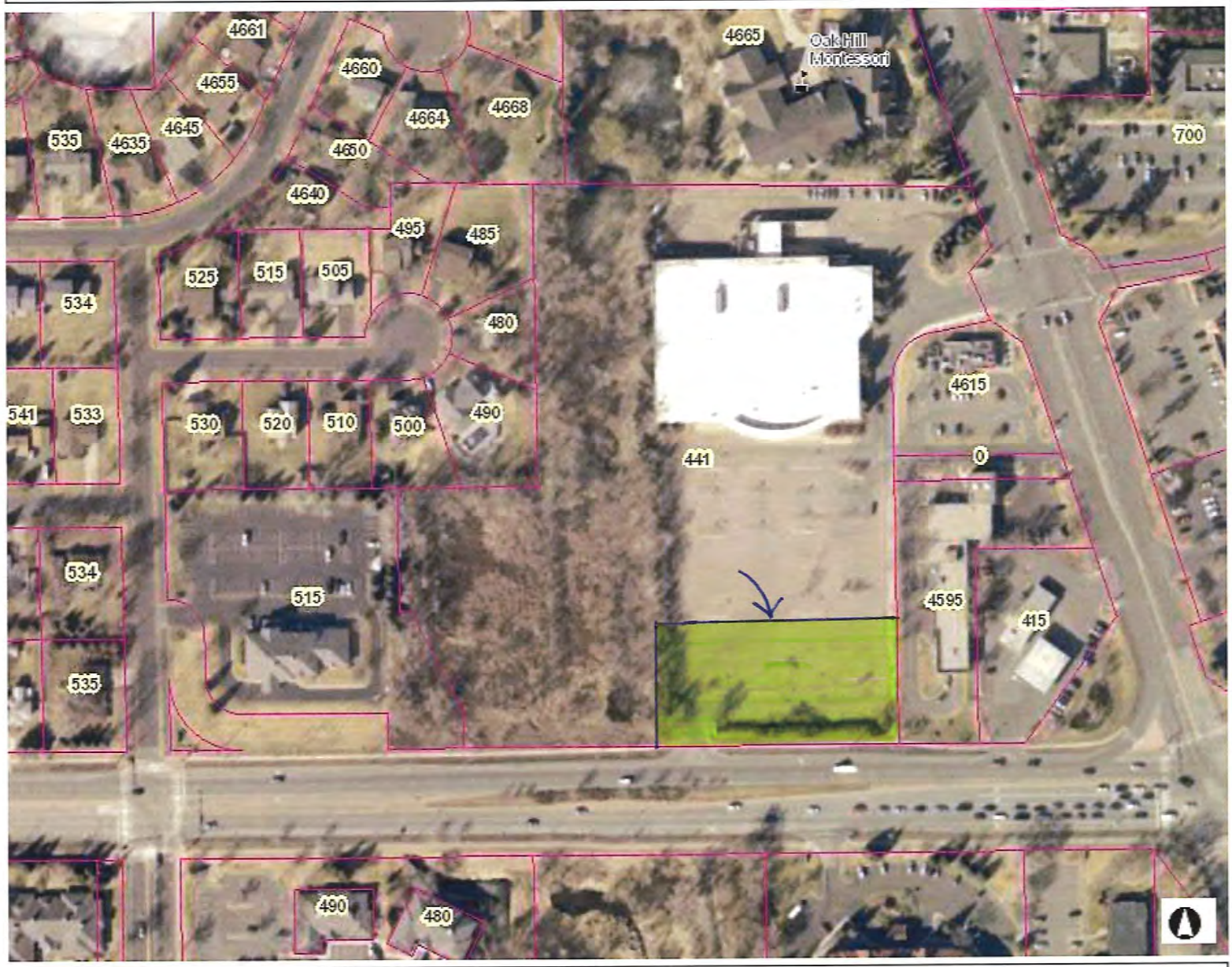
    c. The plans show the sanitary sewer service connecting to an existing stub. City records do not show a stub in that location. Based on City records there is an 8-inch PVC pipe located in the Highway 96. The sanitary sewer service line could be connected to that pipe.

    d. Highway 96 is under the jurisdiction of Ramsey County and any work that is required to be completed within the Ramsey County right-of-way, requires a permit from Ramsey County.

3. Cash Escrows will be required for any utility work in the public right-of-way. An erosion control cash deposit will also be required for the development.

MapRamsey

NABC - Site and Building Plan Review



399.8 0 199.92 399.8 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

Notes

4XX Highway 96

North American Bank
Submittal Narrative
Shoreview, MN
April 25, 2016

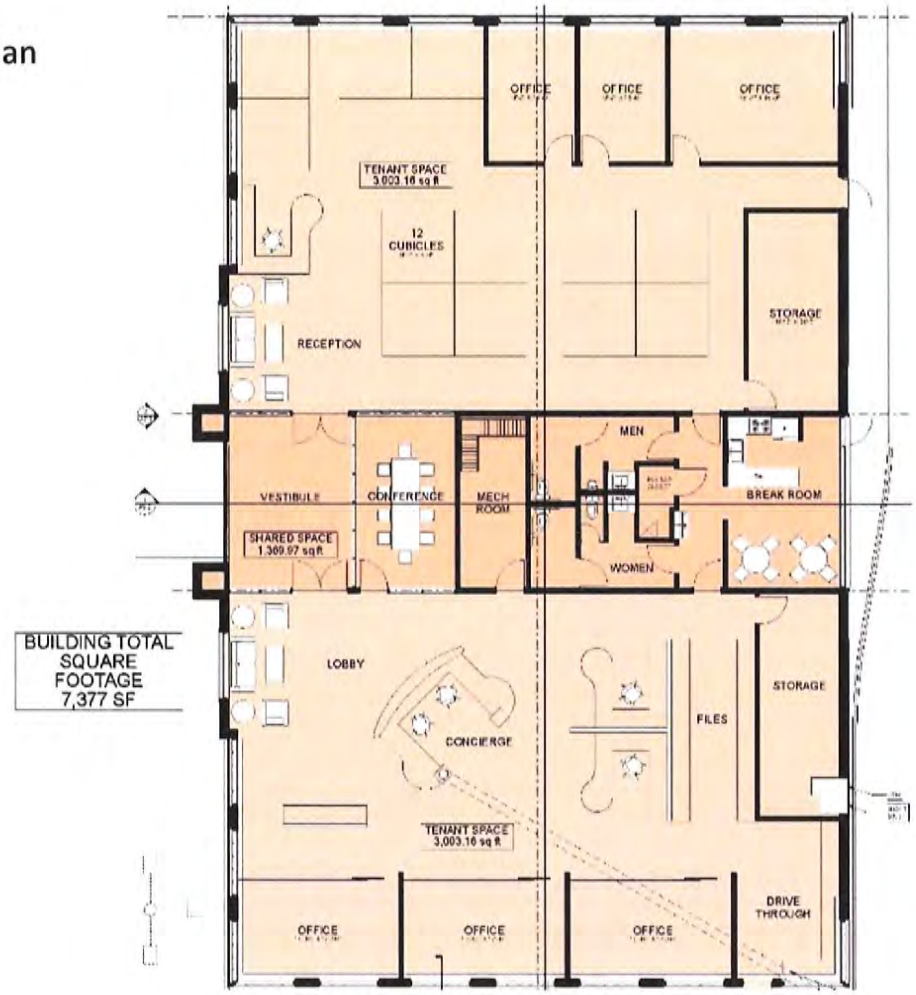
Introduction

On behalf of North American Bank, Oppidan is proposing to construct a 7,377 square-foot outlot building on Lot 2, Block 1, Crossroads Second, Ramsey County Minnesota.

The proposed one story building, located on Lot 2, as part of the previously approved Kowalski's project. The property will be comprised of two tenants, North American Banking Company and JWT Insurance. North American Banking Company has four additional branches located throughout the Twin Cities. This proposed development will be their fifth location. JWT Insurance, a second generation agency specializes in Home, Auto, Life, Business, Bond, Health, and Dental insurance.

Each tenant will occupy approximately 3,000 square-feet with at 1,300 square-foot shared break room space and restrooms. Additionally, a drive through will surround the building along the eastern side.

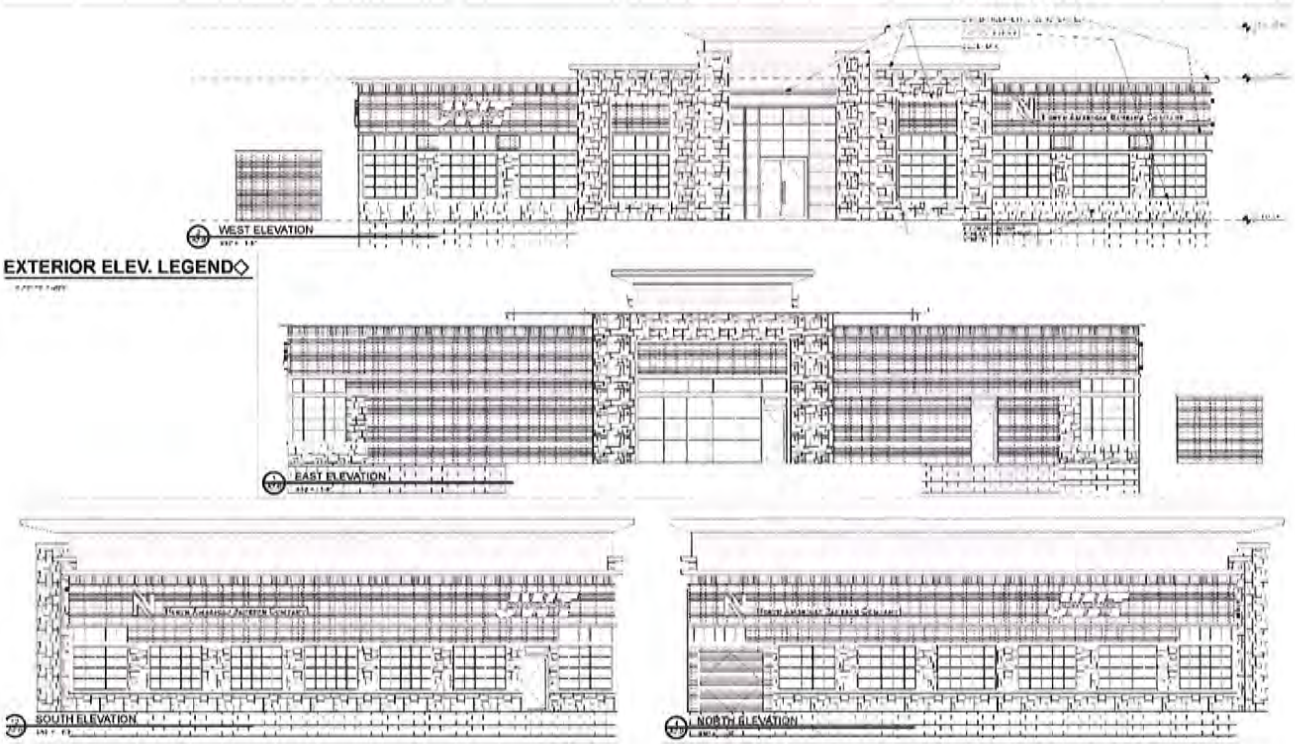
Floor Plan



Architectural

The building will be comprised of high quality, attractive architecture using consistent materials including exterior brick, stone and glass windows.

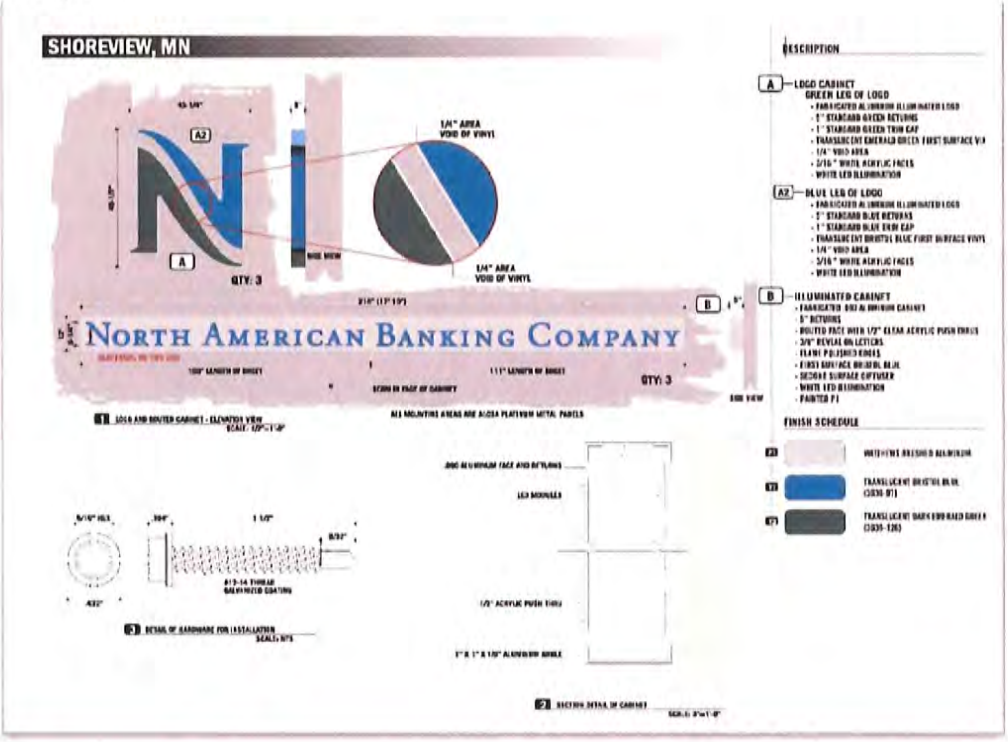
Exterior Elevations

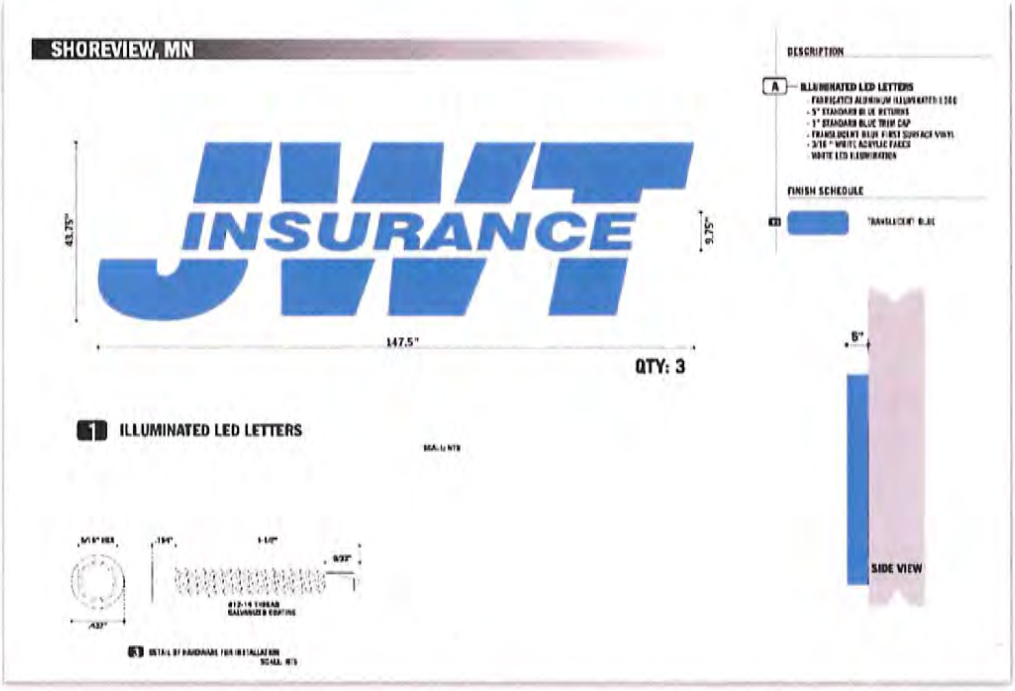


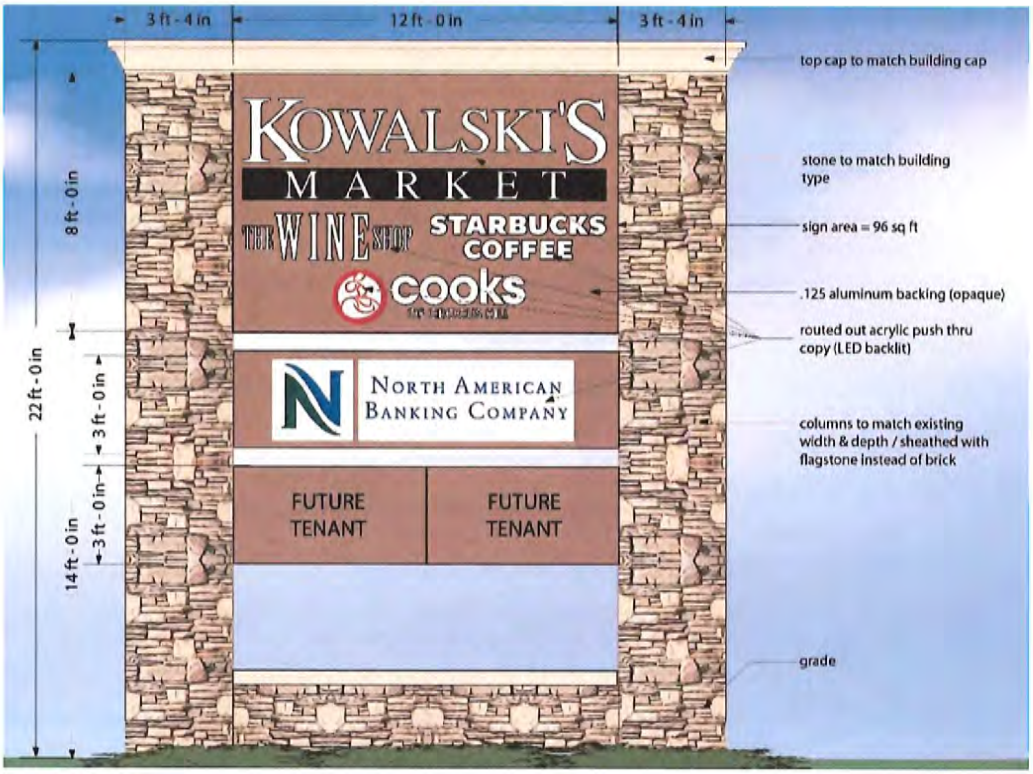
Signage

Building signage is proposed to be displayed across the north, south and western sides of the building as shown in the displayed elevation and signage designs. In addition, North American Banking Company and JWT Insurance will occupy two tenant spaces that are part of the approved PUD pylon/monument signs.

Signage Design

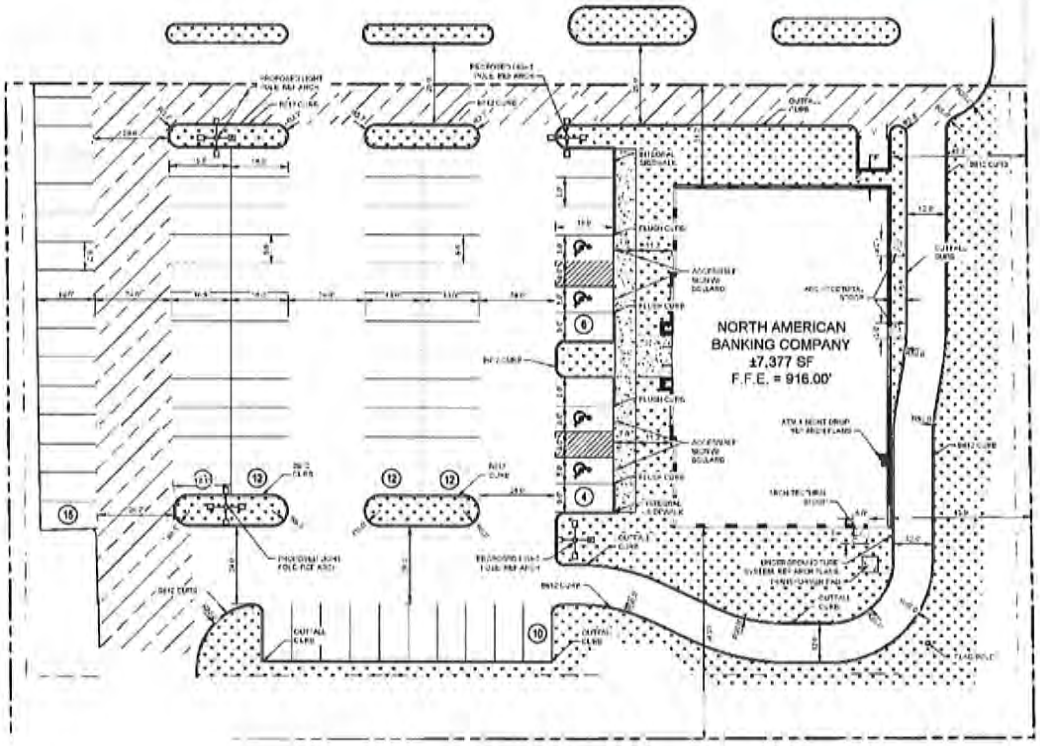





3 ft - 4 in
12 ft - 0 in
3 ft - 4 in
top cap to match building cap
KOWALSKI'S
MARKET
THE WINE SHOP
STARBUCKS COFFEE
COOKS
stone to match building type
sign area = 96 sq ft
.125 aluminum backing (opaque)
routed out acrylic push thru copy (LED backlit)
NORTH AMERICAN BANKING COMPANY
columns to match existing width & depth / sheathed with flagstone instead of brick
FUTURE TENANT
FUTURE TENANT
grade
8 ft - 0 in
22 ft - 0 in
3 ft - 0 in
3 ft - 0 in
14 ft - 0 in

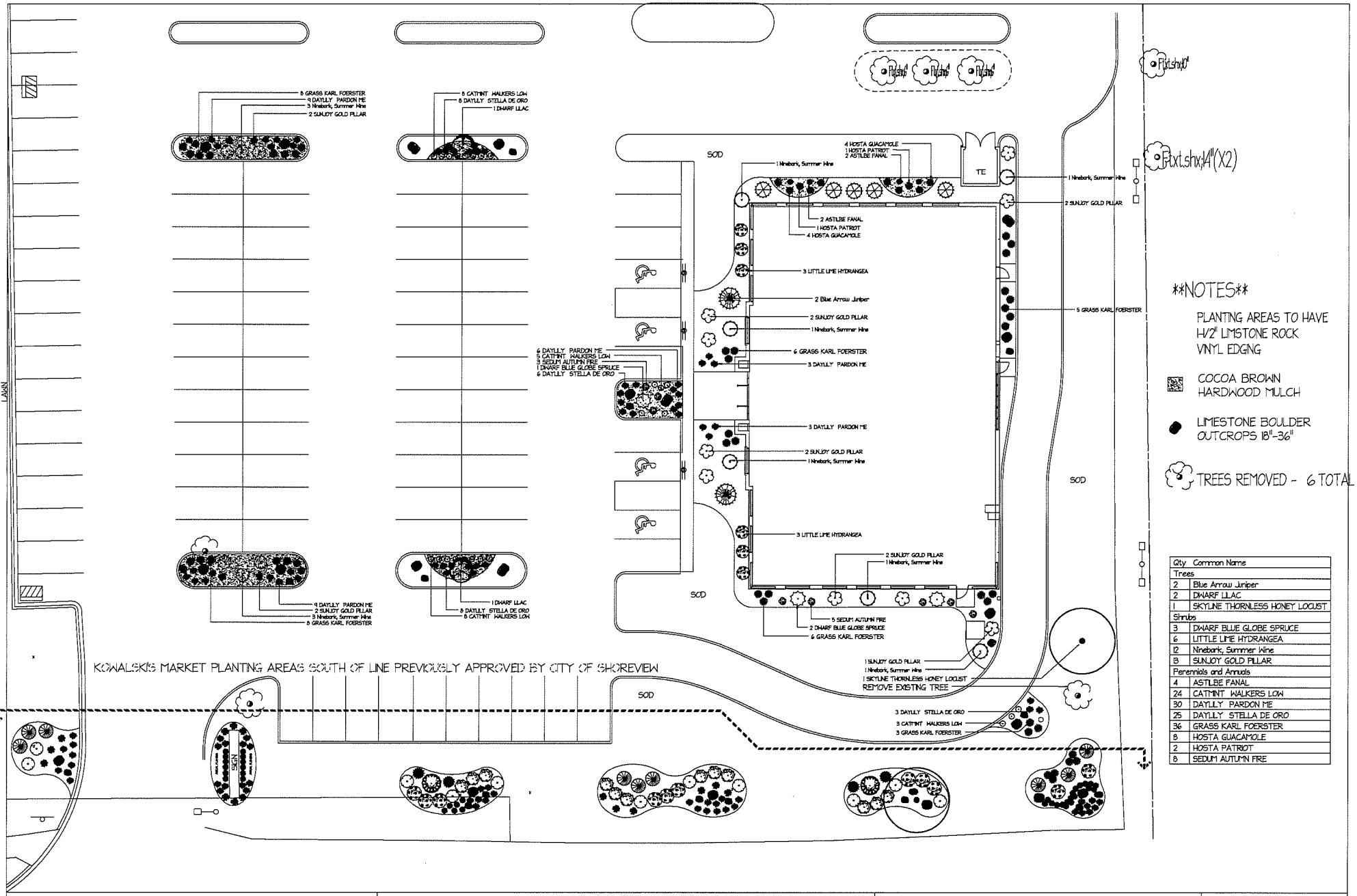
Parking

The proposed site plans shows 83 shared parking stalls; four of which are designated handicapped parking. This site has adequate parking and meets the City of Shoreview code. PLAN HAS BEEN REVISED. SEE ATTACHED PLAN SUBMITTAL



Landscaping

The landscaping for Lot 2 has been designed by Dreamscapes Landscaping, the same company that is responsible for the Kowalski's site. Included in the proposed design is a 30 foot flag pole and United States flag that will be positioned on the southeastern corner of the site in a landscape island. Following the same design standards, the entire site will have a uniform look and feel which will help to further enhance the project.



Qty	Common Name
Trees	
2	Blue Arrow Juniper
2	DWARF LILAC
1	SKYLINE THORNLESS HONEY LOCUST
Shrubs	
3	DWARF BLUE GLOBE SPRUCE
6	LITTLE LIME HYDRANGEA
12	Ninebark, Summer Wine
13	SUNJOY GOLD PILLAR
Perennials and Annuals	
4	ASTILBE FANAL
24	CATMINT WALKERS LOW
30	DAYLLY PARDON ME
25	DAYLLY STELLA DE ORO
36	GRASS KARL FOERSTER
8	HOSTA GUACAMOLE
2	HOSTA PATRIOT
8	SEDUM AUTUMN FIRE

DreamScapes
Landscaping & Design, Inc.

NORTH AMERICAN BANK
SHOREVIEW, MN

1"=16'-0"

SHEET
L1

Lot 2 Use

On March 7, 2016, the City Council approved File 2610-16-09 for the Final Plat and the Final PUD allowing our proposed uses, including a bank with a drive thru.

Conclusion

The applicant respectfully requests the City of Shoreview to support the request for the Site Plan and Building Plan Review for the proposed Project before you. We feel this project will be a great addition to the Kowalski's project previously approved in March.

Sincerely,

Jay Moore
Oppidan Investment Company

Kimley»Horn

MEMORANDUM

DATE: April 22, 2016

TO: Ramsey- Washington Metro Watershed District

FROM: Mike Brandt, P.E.

SUBJECT: **Stormwater Management Summary**
Proposed North American Bank
County Highway 96

INTRODUCTION

North American Banking Company is proposing a redevelopment of an existing commercial lot located in the northwest corner of Highway 96 West and Hodgson Road. The site is currently an existing parking field for a Rainbow Foods Grocery located at 411 County Highway 96.

EXISTING CONDITIONS

The existing site consists of a parking field with a total impervious area of ±1.23 acres on a ±1.5 acre lot. The parking field drains to a private storm system within the lot, which discharges to a regional stormwater treatment area to the north.

PROPOSED CONDITIONS

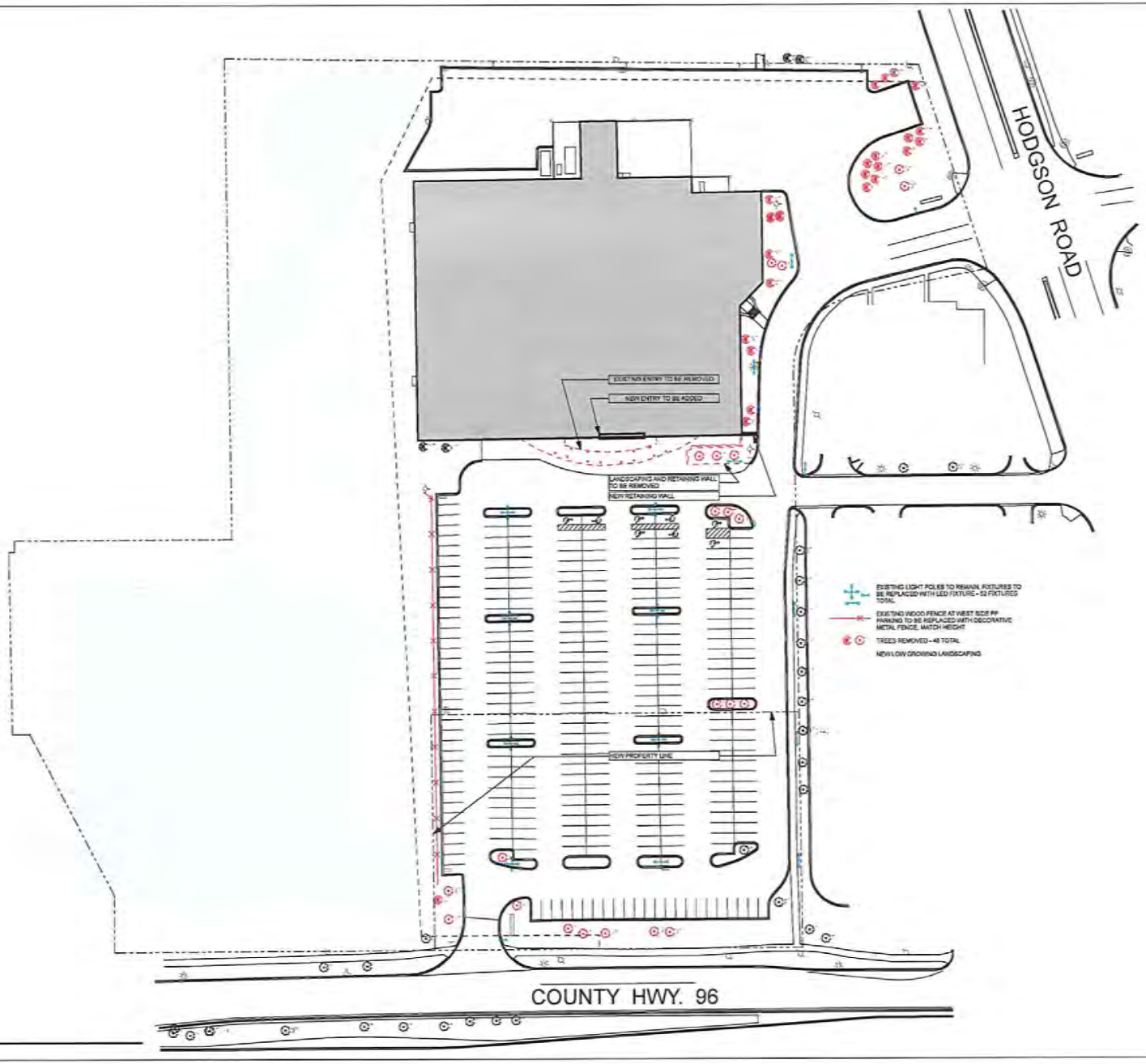
The proposed redevelopment consists of the construction of a new ±7,377 SF North American Bank building, parking area, lighting, utilities, and landscaping. Construction is planned to occur in the summer of 2016.

The proposed development routes the Site storm water runoff, including the building roof runoff, to the existing private storm sewer system.

The proposed site will decrease the net impervious area on the property from ±1.23 acres to ±1.08 acres. The addition of landscape islands, regrading, and onsite storm sewer will cause the discharge rate from the 2,10, and 100-year, 24-hour storm events to be reduced in the post-development condition.

If you have any question or need additional information to complete your review, feel free to contact me at 651-643-0428 or email at mike.brandt@kimley-horn.com.

Thank You,



1 A1.0 SITE PLAN
1" = 40'

CONSULTANT:

WILKUS ARCHITECTS

CLIENT:

PROJECT INFORMATION:

KOWALSKI'S MARKETS
SHOREVIEW, MINNESOTA

SEAL:

Print Name:

Signature:

License No.:

Expiration Date:

Date:

PROJECT NO.

DRAWN BY

CHECKED BY

DATE	
PRELIMINARY REVIEW	
PRELIMINARY REVIEW	
PRELIMINARY REVIEW	

REVISION	DATE

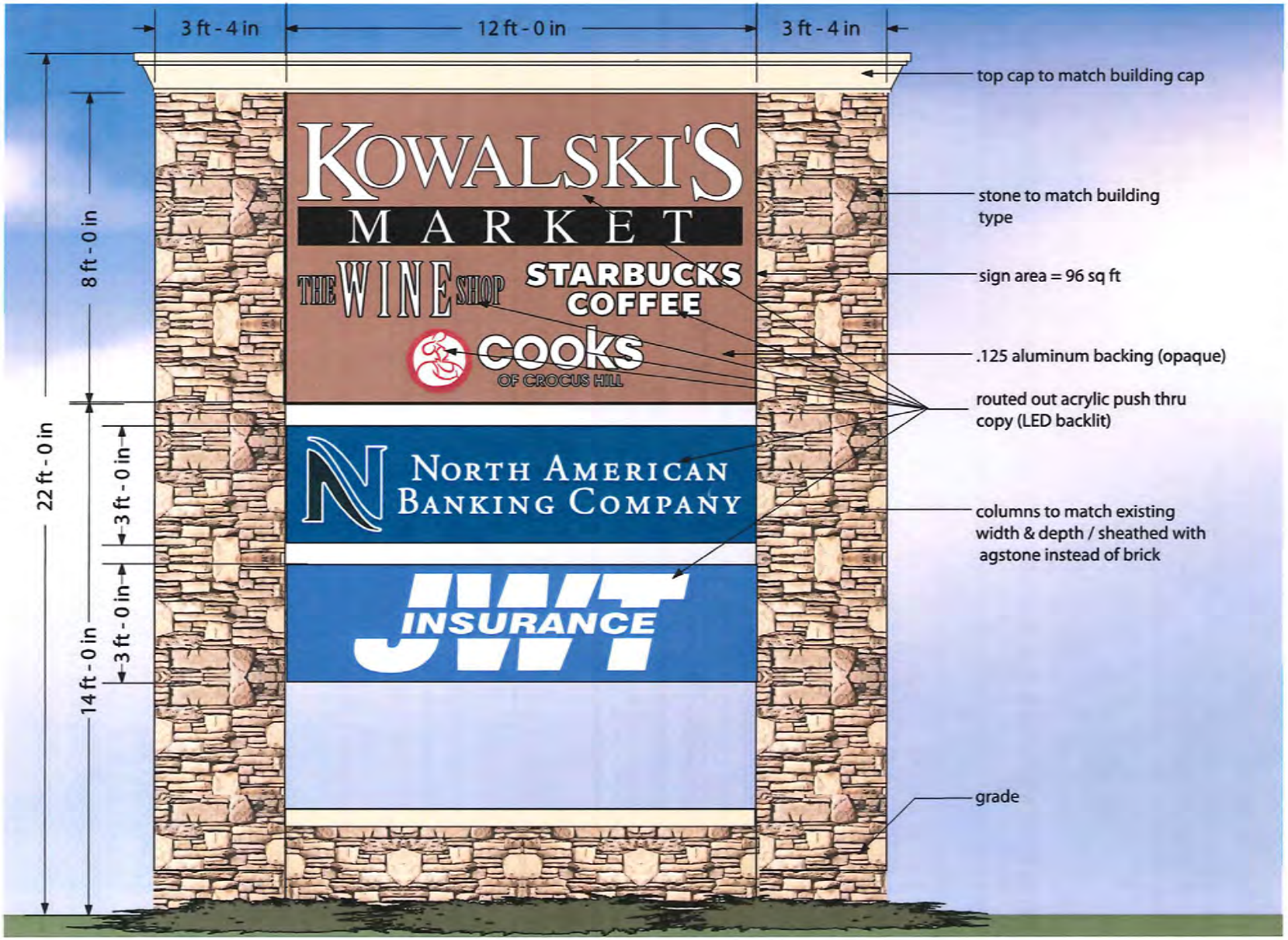
PROJECT LOCATION:

SHOREVIEW, MINNESOTA

SHEET NUMBER / TITLE:

A1.0

Architectural Site Plan



LEROY SIGNS

6325 WELCOME AVE, N.
MINNEAPOLIS, MN 55429
Phone: 763-535-0080
www.leroysigns.com

DATE: 02/22/16D	SCALE: 3/4" = 1'
FILE NAME: CKN_Shoreview_PS_V2G.ai	
SALESPERSON: KAJ REITER	
CLIENT: KOWALSKI'S MARKET	
LOCATION: SHOREVIEW, MN	
ARCHITECT:	
CONTRACTOR:	
SIGN TYPE / DESCRIPTION: ILLUMINATED FREESTANDING SIGNS	
GRAPHICS TYPE / DESCRIPTION: ROUTED OUT PUSH THRU ACRYLIC	
NOTES / REVISIONS: PROPOSED CHANGES TO EXISTING SIGNS (BOTH LOCATIONS) HWY 96 & HODGSON RD	

IMPORTANT NOTICE:
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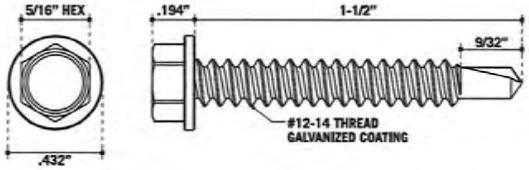
SHOREVIEW, MN

QTY: 3

1 ILLUMINATED LED LETTERS

SCALE: NTS



3 DETAIL OF HARDWARE FOR INSTALLATION

SCALE: NTS

DESCRIPTION

A — ILLUMINATED LED LETTERS

- FABRICATED ALUMINUM ILLUMINATED LOGO
- 5" STANDARD BLUE RETURNS
- 1" STANDARD BLUE TRIM CAP
- TRANSLUCENT BLUE FIRST SURFACE VINYL
- 3/16 " WHITE ACRYLIC FACES
- WHITE LED ILLUMINATION

FINISH SCHEDULE

V1 — TRANSLUCENT BLUE

Lawrence Sign

www.lawrencesign.com

945 Pierce Butler Route, St. Paul, MN 55104

651.488.6711 · 800.998.8901

JWT INSURANCE

441 HIGHWAY 96 W
SHOREVIEW, MN 55126

ILLUMINATED LED LETTERS

CUSTOMER APPROVAL

NAME: _____

DATE: _____

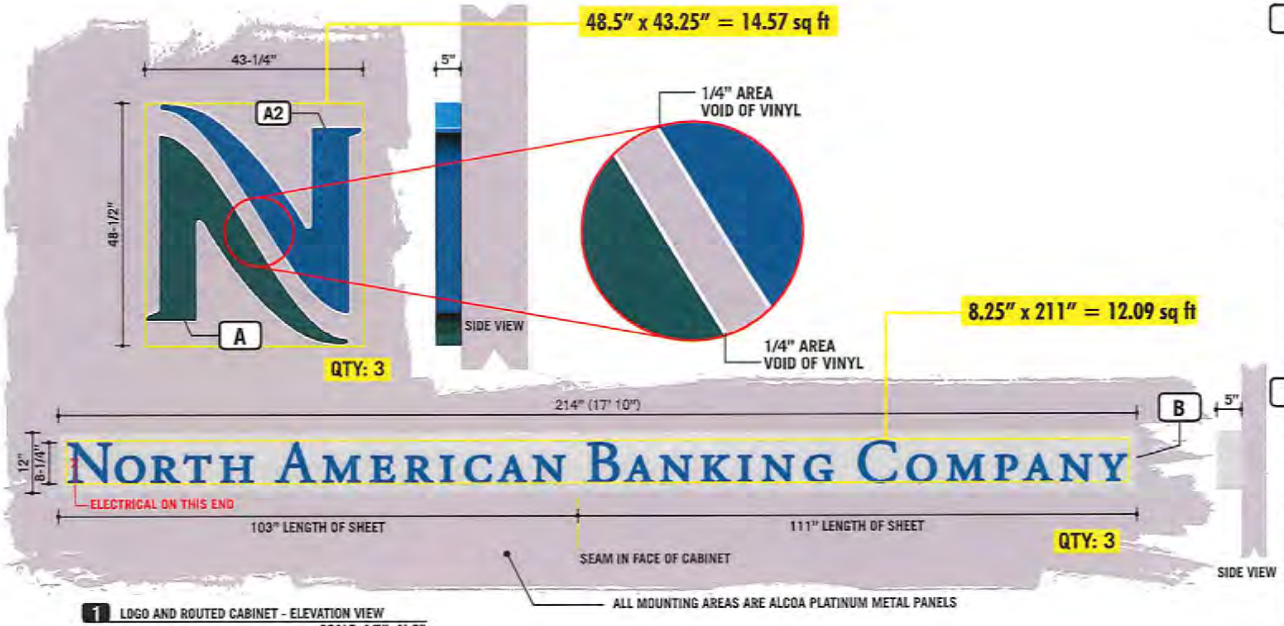
REV1 _____
REV2 _____
REV3 _____
REV4 _____
REV5 _____
REV6 _____
REV7 _____
REV8 _____

SALES: MW PR:
DESIGN: JS
DATE:
DWG:

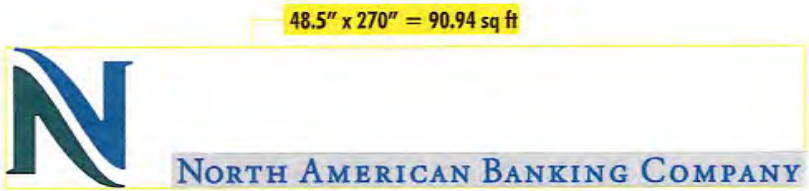
These plans are the exclusive property of Walker Sign Holdings Inc. dba Lawrence Sign and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Walker Sign Holdings Inc. dba Lawrence Sign A sign manufactured according to these plans, distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct a sign similar to the one embodied herein, is expressly prohibited and will render the user liable for damages. Copyright 2015 © Walker Sign Holdings Inc. All rights reserved.

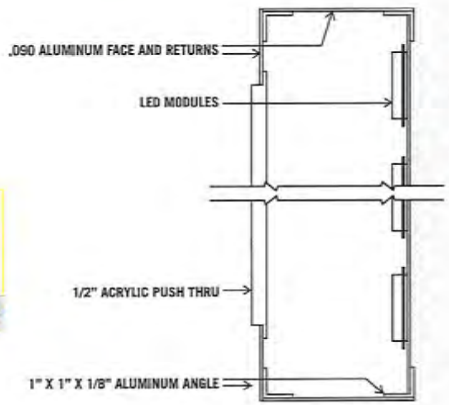
ELECTRIC SIGN

SHOREVIEW, MN



1 LOGO AND ROUTED CABINET - ELEVATION VIEW
SCALE: 1/2"=1'-0"





2 SECTION DETAIL OF CABINET
SCALE: 3"=1'-0"

DESCRIPTION

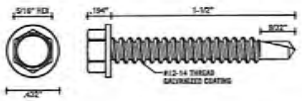
A — LOGO CABINET
GREEN LEG OF LOGO
- FABRICATED ALUMINUM ILLUMINATED LOGO
- 5" STANDARD GREEN RETURNS
- 1" STANDARD GREEN TRIM CAP
- TRANSLUCENT EMERALD GREEN FIRST SURFACE VINYL
- 1/4" VOID AREA
- 3/16 " WHITE ACRYLIC FACES
- WHITE LED ILLUMINATION

A2 — BLUE LEG OF LOGO
- FABRICATED ALUMINUM ILLUMINATED LOGO
- 5" STANDARD BLUE RETURNS
- 1" STANDARD BLUE TRIM CAP
- TRANSLUCENT BRISTOL BLUE FIRST SURFACE VINYL
- 1/4" VOID AREA
- 3/16 " WHITE ACRYLIC FACES
- WHITE LED ILLUMINATION

B — ILLUMINATED CABINET
- FABRICATED .090 ALUMINUM CABINET
- 5" RETURNS
- ROUTED FACE WITH 1/2" CLEAR ACRYLIC PUSH THRUS
- 3/8" REVEAL ON LETTERS
- FLAME POLISHED EDGES
- FIRST SURFACE BRISTOL BLUE
- SECOND SURFACE DIFFUSER
- WHITE LED ILLUMINATION
- PAINTED P1

FINISH SCHEDULE

P1	MATTHEWS BRUSHED ALUMINUM
V1	TRANSLUCENT BRISTOL BLUE (3630-97)
V2	TRANSLUCENT DARK EMERALD GREEN (3630-126)



Lawrence Sign
www.lawrencesign.com
945 Pierce Butler Route, St. Paul, MN 55104
651.488.6711 • 800.998.8901

441 HIGHWAY 96 W
SHOREVIEW, MN 55126

ILLUMINATED LOGO AND LETTER CABINETS

CUSTOMER APPROVAL

NAME: _____

DATE: _____

REV1 _____
REV2 _____
REV3 _____
REV4 _____
REV5 _____
REV6 _____
REV7 _____
REV8 _____

SALES: MW PR:
DESIGN: JS
DATE:
DWG:

These plans are the exclusive property of Walker Sign Holdings Inc. dba Lawrence Sign and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Walker Sign Holdings Inc. dba Lawrence Sign A sign manufactured according to these plans, distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct a sign similar to the one embodied herein, is expressly prohibited and will render the user liable for damages. Copyright 2015 © Walker Sign Holdings Inc. All rights reserved.

UL LISTED ELECTRIC SIGN

MOTION
TO APPROVE SITE AND BUILDING PLAN
AND COMPREHENSIVE SIGN PLAN
SIDAL REALTY/NABC– 4XX HIGHWAY 96

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend the City Council approve the Site and Building Plan Review and Comprehensive Sign Plan submitted by Sidal Realty/NABC for 4XX Highway 96. Said approval is subject to the following:

Site and Building Plan Review

1. This approval permits the development of this parcel with a multi-tenant commercial building as identified in the plan submittal.
2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
4. The items identified in the memo from the City Engineer must be addressed prior to the issuance of a building permit.
5. The exterior of the trash enclosure shall be of a material that compliments the commercial building.
6. Prior to submittal of the Building Permit application, the applicant shall revise the landscape plan to include additional plantings along the west side of the parking lot and in the landscape islands.
7. A permit shall be obtained from the Ramsey Washington Metro Watershed District, if required, prior to the issuance of a building permit for this project.
8. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

Comprehensive Sign Plan

1. The signs on the property shall comply with the plans submitted for the Comprehensive Sign Plan application.
2. Signage shall be maintained in accordance with the City's Sign Code.
3. The applicant shall obtain a sign permit prior to the installation of the new signs on the property.

This approval is based on the following findings of fact:

1. The proposed land use is consistent with the designated commercial land use in the Comprehensive Plan, the C1 zoning district and approved Planned Unit Development.

2. The redevelopment/re-use of the property for commercial is compatible with the adjoining land uses and will not have a significant adverse impact on surrounding properties.
3. The redevelopment/reuse of the property supports the City's land use and economic development goals.
4. The Sign Plan includes signage that is attractive and compatible with the surrounding development.

VOTE:

AYES:

NAYS:

T:\2016 Planning Cases Files\2615-16-14 441 Hwy 96 - NABC-Sidal Realty\pcmotion

SITE DEVELOPMENT PLANS

FOR

NORTH AMERICAN BANKING COMPANY
COUNTY HIGHWAY 96

SHOREVIEW, RAMSEY COUNTY, MINNESOTA

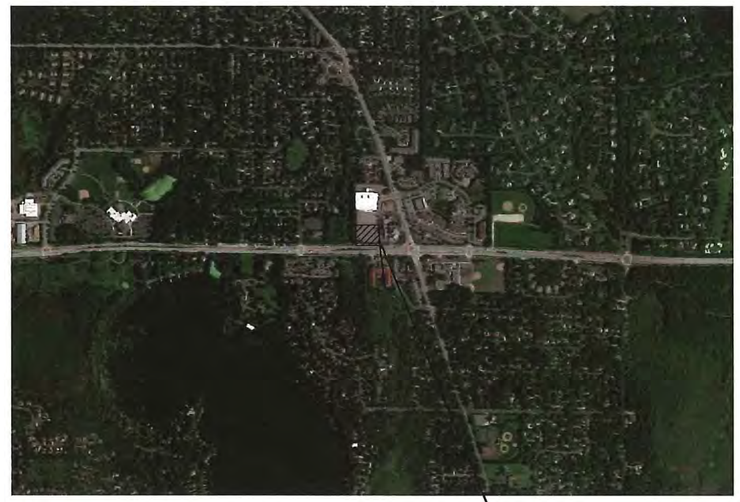
ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.

Kimley»Horn

PREPARED BY: MICHAEL C. BRANDT
2550 UNIVERSITY AVE W, SUITE 238 N
ST. PAUL, MN 55114
TELEPHONE (651) 645-4197

DEVELOPER

OPPIDAN
400 WATER STREET
SUITE 200
EXCELSIOR, MN



VICINITY
N.T.S.

NORTH

SHEET INDEX

SHEET NO.	SHEET TITLE
C-1.0	COVER SHEET
C-1.1	ALTA SURVEY
C-1.2	GENERAL NOTES
C-2.0	PHASE 1 EROSION CONTROL PLAN
C-2.1	PHASE 2 EROSION CONTROL PLAN
C-2.2	EROSION CONTROL DETAILS
C-3.0	SITE PLAN
C-3.1	SITE DETAILS
C-4.0	GRADING & DRAINAGE PLAN
C-5.0	UTILITY PLAN
C-5.1	UTILITY DETAILS

NOTES:

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22" X 34" SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

PROJECT TEAM:

ARCHITECT
WILKUS ARCHITECTS
MATT WILKUS, ASSOC. AIA
15 NINTH AVENUE NORTH
HOPKINS, MN 55343
(952)-843-5059

SURVEYOR
EGAN, FIELD, & NOWAK, INC.
ERIC A. ROESER, P.L.S.
1229 TYLER STREET NE, SUITE 100
MINNEAPOLIS, MN 55413
(612)-466-3300

No.	REVISIONS	DATE	BY
1	CITY COMMENTS PARKING REDUCTION	5/17/16	JRA

Kimley»Horn

©2015 KIMLEY-HORN AND ASSOCIATES, INC.

2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

MICHAEL C. BRANDT, P.E.
MN
DATE: 04/25/2016 LIC. NO. 42661

KHA PROJECT

DATE 04/25/2016
SCALE AS SHOWN
DESIGNED BY JRA
DRAWN BY JRA
CHECKED BY MCB

PRELIMINARY - NOT FOR CONSTRUCTION

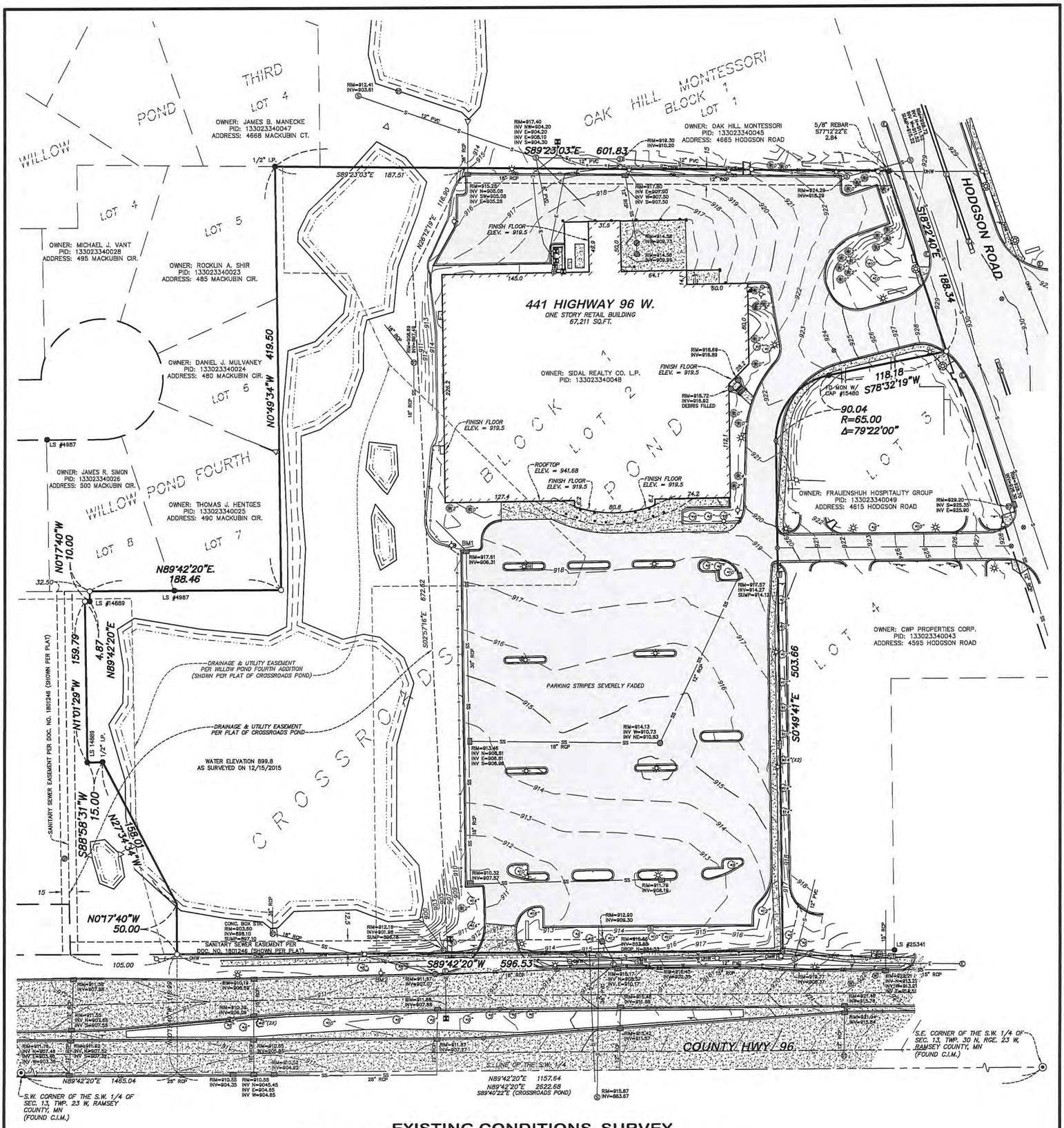
COVER SHEET

NORTH AMERICAN BANK
SHOREVIEW, MN

SHEET NUMBER
C-1.0

K:\TWC_LDEV\North American Banking\Shoreview\3 Design\CAD\PlanSheets\C-1.0 Cover Sheet.dwg May 17, 2016 - 8:41am

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



EXISTING CONDITIONS SURVEY
FOR: KIMLEY - HORN & ASSOCIATES, INC.

LEGAL DESCRIPTION:

Lot 2, Block 1, CROSSROADS POND, according to the recorded plat thereof, Ramsey County, Minnesota.

NOTES:

1. The orientation of this bearing system is based on the Ramsey County coordinate grid (NAD 83-96 Adj.).
2. The total area of the property described hereon is 466,251 square feet or 10.704 acres.
3. Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify the legal description, or the existence of any easements or encumbrances.
4. Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 153380586. However, locking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
5. The property described hereon lies within Flood Zone X (Areas determined to be outside of the 0.2% annual chance floodplain) per Federal Insurance Rate Map No. 27123C 0030 G, dated June 04, 2010.
6. BENCHMARK 1: Top of hydrant South of the S.W. corner of the building.
   Elevation = 920.62 feet. (NAVD 88)

   BENCHMARK 2: Top of hydrant West of the S.W. entrance of the property.
   Elevation = 913.73 feet. (NAVD 88)

CERTIFICATION:

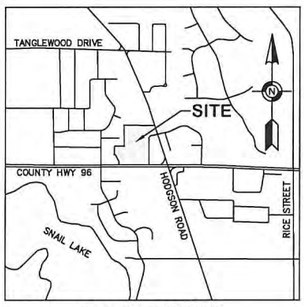
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: December 08, 2015.
Date of signature: December 23, 2015.

Eric A. Roeser
Minnesota License No. 47476

LEGEND:

- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SPRINKLER BOX
- GATE VALVE
- HYDRANT
- POST INDICATOR VALVE
- ELECTRIC MANHOLE
- ELECTRIC BOX
- ELECTRIC METER
- HANDHOLE
- LIGHT
- UTILITY POLE
- GUY WIRE
- SEMAPHORE
- COMMUNICATION BOX
- GAS METER
- SIGN
- BENCH
- BOLLARD
- CHAIN LINK FENCE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- OVERHEAD WIRE
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- EXISTING CONTOUR LINE
- TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE



VICINITY MAP
NOT TO SCALE

0 50 100 150
SCALE IN FEET

- FOUND IRON MONUMENT (AS NOTED)
- FOUND "X" IN CONCRETE
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 47476
- FOUND PK NAIL

FIELD BOOK	PAGE	FIELDWORK CHIEF:
2897	34	FM
		DRAWN BY: NCP
DRAWING NAME: 36531.dwg		CHECKED BY: EAR
JOB NO. 36531		
FILE NO. 5873		

EXISTING CONDITIONS SURVEY

SURVEY FOR: Kimley-Horn & Associates, Inc.

PROPERTY ADDRESS: 441 HIGHWAY 96 W. SHOREVIEW, MN 55126

Egan, Field & Nowak, Inc.
land surveyors since 1872
1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM
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GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF MINNESOTA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
10. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
11. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

EROSION CONTROL MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL OWNER/ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO PUBLIC AREAS SHALL BE PAID BY THE CONTRACTOR.
5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS IS PRACTICABLE.
13. ALL STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCIRCLING THESE AREAS WITH SOME PROTECTIVE MEASURE WILL BE NECESSARY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBRICANT OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.
15. EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.
16. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF SHOREVIEW ENGINEERING DIVISION.
17. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL HAVE TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE. ANY REVISIONS TO THE EROSION CONTROL PLAN MADE BY THE CONTRACTOR MUST BE APPROVED BY THE ENGINEER.

PAVING AND STRIPING NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR MN/DOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
4. ALL JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER.
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS, AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK.
7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MN/DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MN/DOT SPECIFICATION.
17. ALL CONCRETE/ASPHALT SHALL BE INSTALLED PER GEOTECH REPORT, CITY OF SHOREVIEW AND MN/DOT SPECIFICATIONS.
18. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
19. SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
20. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
21. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
22. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
23. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
24. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS.
25. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
26. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
27. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

WATER, STORM SEWER, AND SANITARY SEWER NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF MINNESOTA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
10. CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10' AND A VERTICAL CLEARANCE OF 18" BETWEEN WATER AND SANITARY SEWER MANHOLES AND LINES.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
13. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
14. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.
17. ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 1% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.
18. ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <910.00> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MECHANICAL PLANS FOR ROOF DRAIN CONNECTION.
19. ALL ROOF AND SANITARY SEWER DRAINS SHALL BE INSULATED IF 5' OF COVER CANNOT BE PROVIDED.
21. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
22. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.
23. A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.
24. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.
25. COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
26. ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.
27. REFERENCE ARCHITECTURAL PLANS (BY OTHERS). FOR EXACT BUILDING DIMENSIONS, AND MATERIALS SPECIFICATIONS.
28. REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
29. CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND PAD PREPARATION SPECIFICATIONS.
30. CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR LIGHT POLE WIRING.

REFER TO GEOTECHNICAL REPORT NO. B1602363
BRAUN INTERTEC CORPORATION
DATED APRIL 15, 2016

No.	REVISIONS	DATE	BY
1	CITY COMMENTS PARKING REDUCTION	5/17/16	JRA

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MICHAEL C. BRANDT, P.E.
DATE: 04/25/2016 MN LIC. NO. 42661

KHA PROJECT	
DATE	04/25/2016
SCALE	AS SHOWN
DESIGNED BY	JRA
DRAWN BY	JRA
CHECKED BY	MCB

GENERAL NOTES

NORTH AMERICAN BANK
SHOREVIEW, MN

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER
C-1.2

K:\TWC_LDEV\North American Banking\Shoreview\3 Design\CAD\PlanSheets\C-1.2 GENERAL NOTES.dwg May 17, 2016 – 8:41am
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K:\TWC_LDEV\North American Banking\Shoreview\3 Design\CAD\PlanSheets\C-2.0 PHASE 1 EROSION CONTROL.dwg May 17, 2016 - 8:42am

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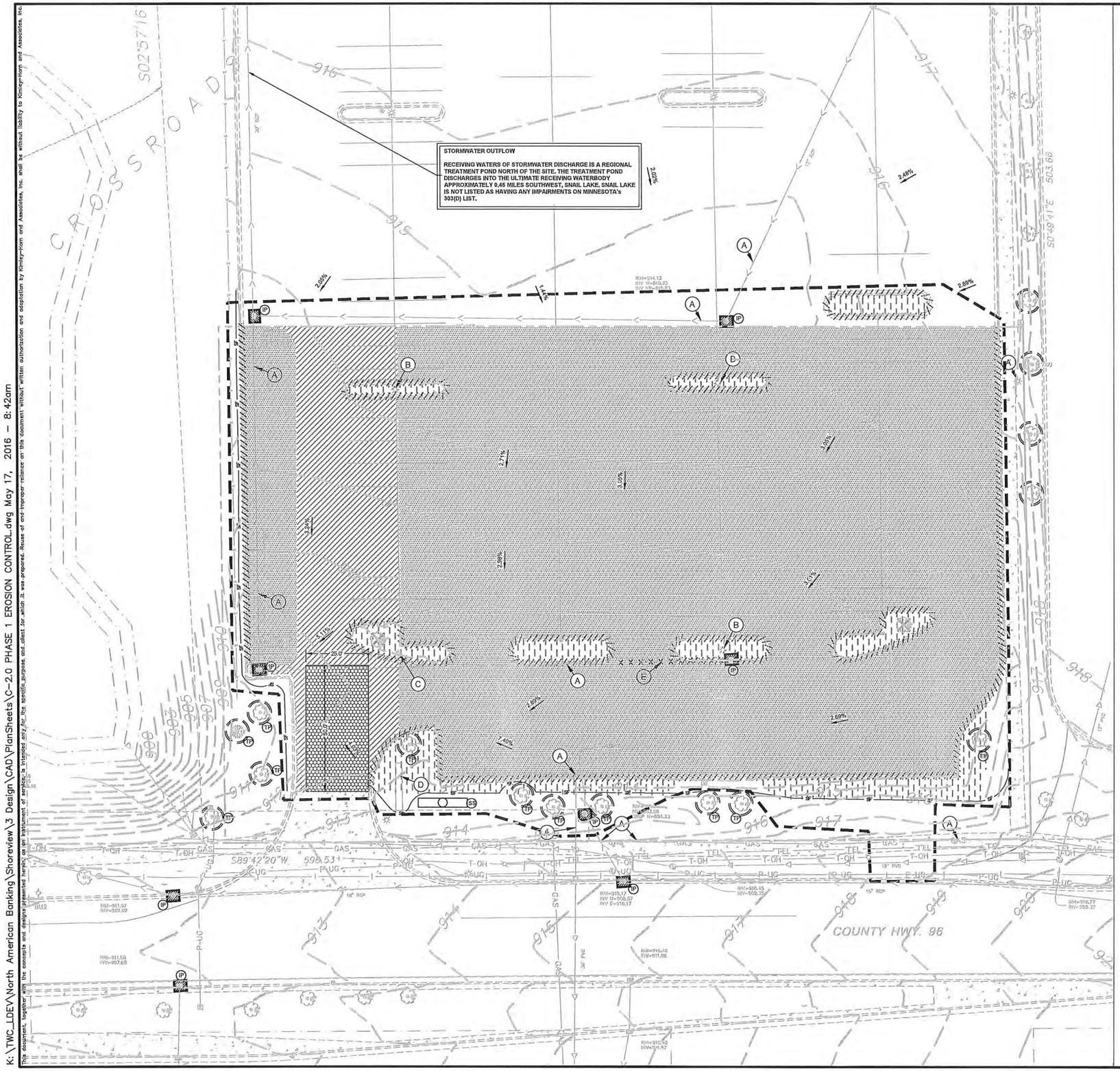

EROSION CONTROL LEGEND

- PROPERTY LINE
- ROCK ENTRANCE
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SWPPP / PROJECT SIGN
- 1.00% EXISTING SLOPE ARROW

DEMOLITION/EXISTING CONDITIONS LEGEND

- PROPERTY LINE
- REMOVE BITUMINOUS SURFACE
- VARIABLE DEPTH MILL AND OVERLAY
- REMOVE BUILDING
- CLEARING & GRUBBING
- REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION
- P-OH — EXISTING OVERHEAD POWER LINE
- EXISTING CHAINLINK FENCE
- EXISTING J-BARRIER
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- GAS — EXISTING GAS MAIN
- TEL — EXISTING UNDERGROUND TELEPHONE
- CABLE — EXISTING UNDERGROUND CABLE
- 928 — EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING WELL
- EXISTING AUTOMATIC SPRINKLER
- EXISTING ROOF DRAIN
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING METAL COVER
- E — EXISTING ELECTRICAL METER
- EXISTING AIR CONDITIONER
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE BOX
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

EROSION CONTROL PLAN NOTES

1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
3. THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
4. WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, AND WATERSHED DISTRICT PERMITS.
6. REMOVE ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
7. THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED ARES.

KEYNOTE LEGEND

A	UTILITY TO BE PROTECTED
B	EXISTING LIGHT POLE TO BE REMOVED
C	EXISTING LIGHT POLE TO REMAIN
D	EXISTING SITE SIGNAGE TO REMAIN
E	EXISTING UTILITY TO BE REMOVED

SITE DATA

LIMITS OF DISTURBANCE:	±1.41 AC
EXISTING IMPERVIOUS/PERVIOUS:	±1.23 AC / ±0.27 AC
PROPOSED IMPERVIOUS/PERVIOUS:	±1.08 AC / ±0.42 AC

NOTE: LIMITS OF DISTURBANCE IS SHOWN OFFSET FROM PROPERTY LINE AND CONSTRUCTION FENCE FOR CLARITY. CONTRACTOR TO INSTALL AND MAINTAIN INLET PROTECTION ON ADJACENT PROPERTIES RECEIVING STORMWATER RUNOFF FROM THE SITE.

NOTE: EXISTING SOILS ONSITE GENERALLY CONSIST OF FILL CONTAINING SILTY, CLAYEY, AND POORLY GRADED SAND. REFER TO GEOTECHNICAL REPORT NO. 05155117 BY BRAUN INTERTEC CORPORATION, DATED APRIL 15TH, 2016. CONTRACTOR TO READ GEOTECHNICAL REPORT IN ITS ENTIRETY PRIOR TO CONSTRUCTION.

PRELIMINARY - NOT FOR CONSTRUCTION

No.	REVISIONS	DATE	BY
1	CITY COMMENTS PARKING REDUCTION	5/17/16	JRA

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KHA PROJECT	
DATE	04/25/2016
SCALE	AS SHOWN
DESIGNED BY	JRA
DRAWN BY	JRA
CHECKED BY	MCB

DEMOLITION AND PHASE 1 EROSION CONTROL PLAN

NORTH AMERICAN BANK
SHOREVIEW, MN

SHEET NUMBER
C-2.0

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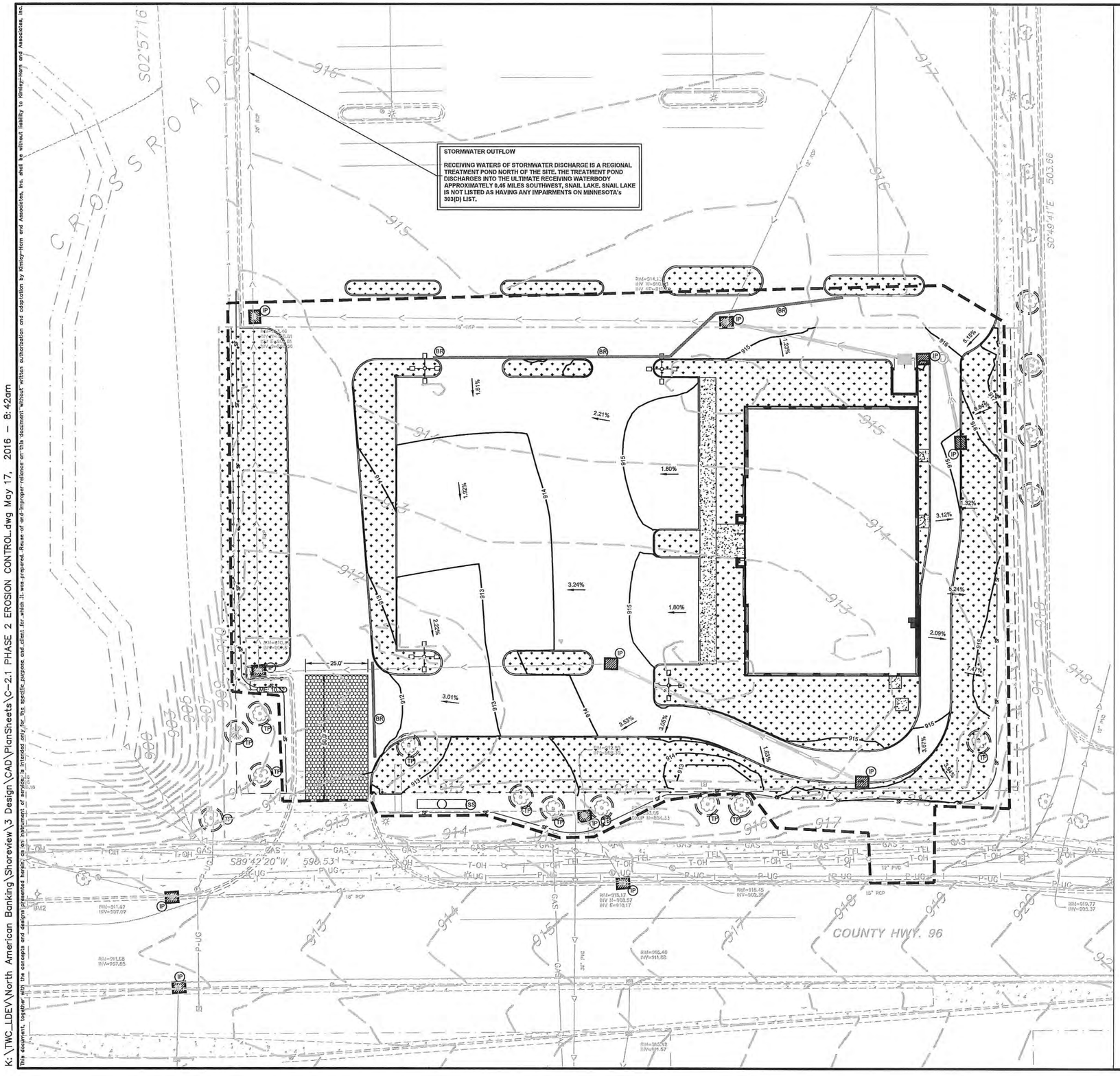

EROSION CONTROL LEGEND

- PROPERTY LINE
- EXISTING STORM SEWER
- EXISTING CONTOUR
- ROCK CONSTRUCTION ENTRANCE
- INLET PROTECTION
- SILT FENCE
- BIOROLL
- LIMITS OF DISTURBANCE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- PROPOSED SLOPE ARROW
- SWPPPP / PROJECT SIGN
- PERMANENT LANDSCAPE STABILIZATION. REFER TO LANDSCAPE PLAN

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

EROSION CONTROL PLAN NOTES

1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
3. THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
4. WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, AND WATERSHED DISTRICT PERMITS.
6. REMOVE ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
7. THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED ARES.

SITE DATA	
LIMITS OF DISTURBANCE:	±1.41 AC
EXISTING IMPERVIOUS/PERVIOUS:	±1.23 AC / ±0.27 AC
PROPOSED IMPERVIOUS/PERVIOUS:	±0.96 AC / ±0.54 AC

NOTE: LIMITS OF DISTURBANCE IS SHOWN OFFSET FROM PROPERTY LINE AND CONSTRUCTION FENCE FOR CLARITY. CONTRACTOR TO INSTALL AND MAINTAIN INLET PROTECTION ON ADJACENT PROPERTIES RECEIVING STORMWATER RUNOFF FROM THE SITE.

NOTE: EXISTING SOILS ONSITE GENERALLY CONSIST OF FILL CONTAINING SILTY, CLAYEY, AND POORLY GRADED SAND. REFER TO GEOTECHNICAL REPORT NO. 05155117 BY BRAUN INTERTEC CORPORATION. DATED APRIL 15TH, 2016. CONTRACTOR TO READ GEOTECHNICAL REPORT IN ITS ENTIRETY PRIOR TO CONSTRUCTION.

No.	REVISIONS	DATE	BY
1	CITY COMMENTS PARKING REDUCTION	5/17/16	JRA

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MICHAEL C. BRANDT, P.E.
DATE: 04/25/2016 LIC. NO. 42661

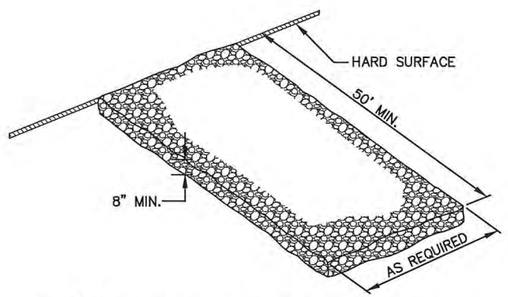
KHA PROJECT	DATE 04/25/2016
SCALE	AS SHOWN
DESIGNED BY	JRA
DRAWN BY	JRA
CHECKED BY	MCB

PRELIMINARY - NOT FOR CONSTRUCTION

PHASE 2 EROSION CONTROL PLAN

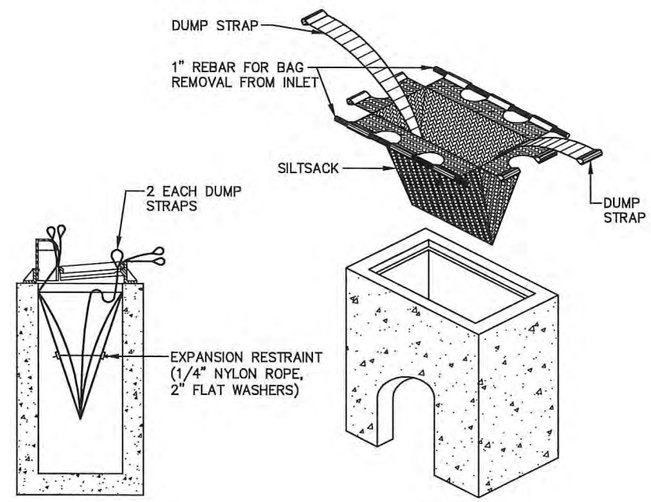
NORTH AMERICAN BANK
SHOREVIEW, MN

SHEET NUMBER
C-2.1

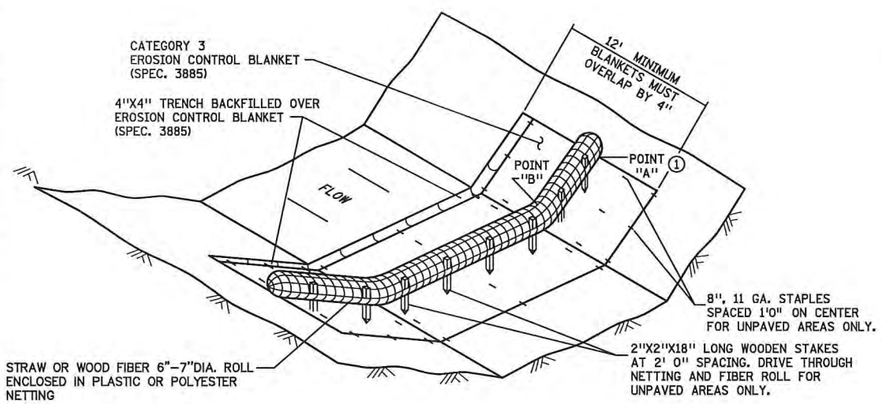


NOTES:
A GEOTEXTILE FABRIC SHALL BE USED UNDER THE ROCK TO PREVENT MIGRATION OF THE UNDERLYING SOIL INTO THE STONE.

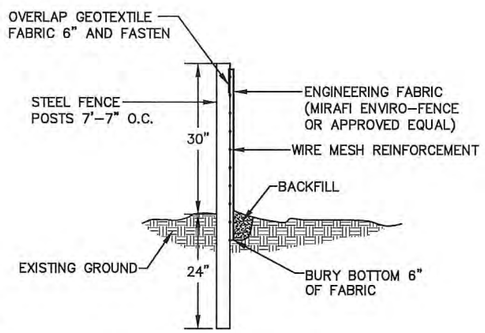
TEMPORARY ROCK CONSTRUCTION ENTRANCE



INLET PROTECTION SEDIMENT FILTER SACK



BIO-ROLL BLANKET SYSTEM

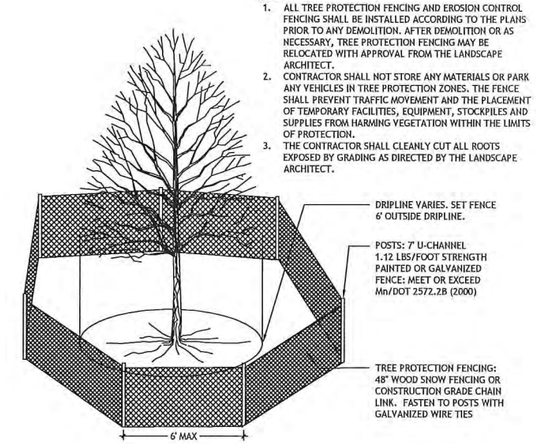


NOTE:
PAID FOR AS SILT FENCE-HEAVY DUTY

CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION CONTROL MATERIALS FOLLOWING TURF ESTABLISHMENT

EROSION CONTROL FENCE

NOTES:
1. ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
3. THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY THE LANDSCAPE ARCHITECT.



TREE PROTECTION DETIAIL

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MICHAEL C. BRANDT, P.E.
MN
DATE: 04/25/2016 LIC. NO. 42681

KHA PROJECT	
DATE	04/25/2016
SCALE	AS SHOWN
DESIGNED BY	JRA
DRAWN BY	JRA
CHECKED BY	MCB

EROSION CONTROL DETAILS

NORTH AMERICAN BANK
SHOREVIEW, MN

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER
C-2.2

K:\TWC_LDEV\North American Banking\Shoreview\3 Design\CAD\PlanSheets\C-2.2 EROSION CONTROL DETAILS.dwg May 17, 2016 - 8:42am
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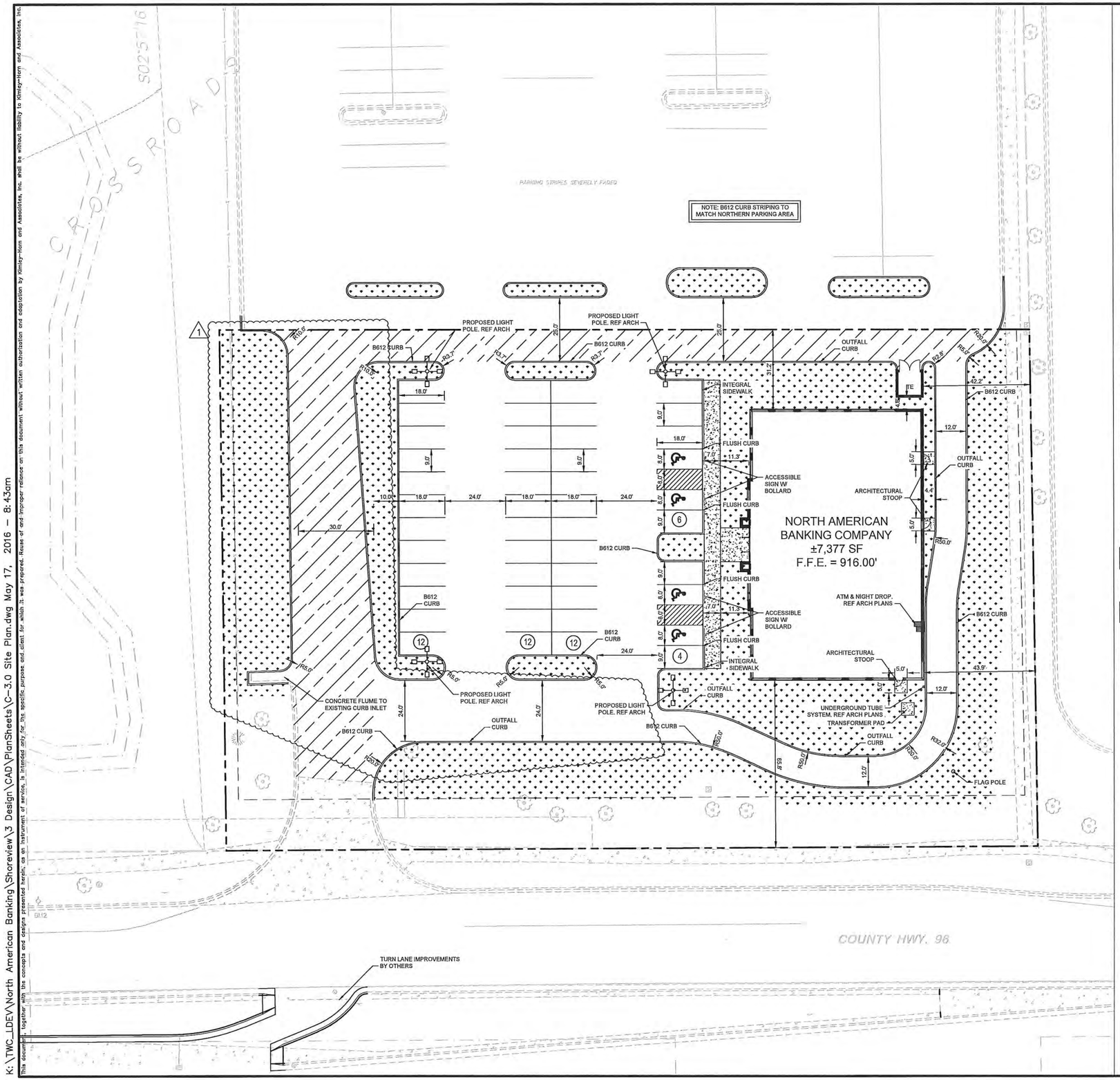

SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY CONCRETE FOR SIDEWALKS
- LANDSCAPED AREA
- PROPOSED PARKING COUNT

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

PROPERTY SUMMARY

NORTH AMERICAN BANKING COMPANY	
TOTAL PROPERTY AREA	65,465 SF (±1.5 AC)
TOTAL DISTURBED AREA	44,455 SF (±1.02 AC)
PROPOSED IMPERVIOUS AREA	41,865 SF (±0.96 AC)
PROPOSED PERVIOUS AREA	23,600 SF (±0.54 AC)
ZONING SUMMARY	
EXISTING ZONING	PLANNED UNIT DEVELOPMENT
PROPOSED ZONING	PLANNED UNIT DEVELOPMENT

BUILDING A DATA SUMMARY

AREAS	
PROPOSED PROPERTY	65,465 SF (±1.5 AC)
BUILDING AREA	8,000 SF (12.2% OF TOTAL PROPERTY AREA)
PARKING	
TOTAL PROPOSED PARKING	46 SPACES @ 6.24 RATIO
ADA STALLS REQ'D / PROVIDED	4 STALLS / 4 STALLS

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
8. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EGAN, FIELD, & NOWAK, INC., DATED 12/23/15.
9. TOTAL LAND AREA IS ±1.5 ACRES.
10. PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
11. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

No.	REVISIONS	DATE	BY
1	CITY COMMENTS PARKING REDUCTION	5/17/16	JRA

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MICHAEL C. BRANDT, P.E.
MN LIC. NO. 42951
DATE: 04/25/2016

KHA PROJECT

DATE 04/25/2016
SCALE AS SHOWN
DESIGNED BY JRA
DRAWN BY JRA
CHECKED BY MCB

PRELIMINARY - NOT FOR CONSTRUCTION

SITE PLAN

NORTH AMERICAN BANK
SHOREVIEW, MN

SHEET NUMBER
C-3.0

K:\TWC_LDEV\North American Banking\Shoreview\3 Design\CAD\PlanSheets\C-3.0 Site Plan.dwg May 17, 2016 - 8:43am
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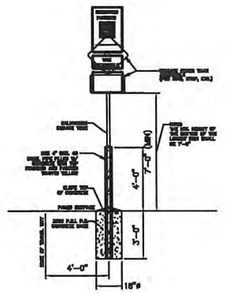


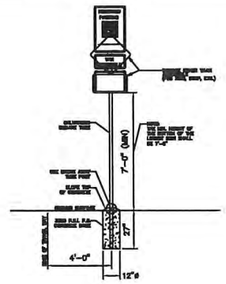
SINGLE POST

NOTES:
1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. GALVANIZED SQUARE TUBE

POST TUBES – 3"x3"x3/16" 18ga
POST TUBE SHALL MEET ASTM A1011 GRADE 50.
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 50.

SIGN LOCATIONS – 90° PARKING

SIGN MOUNTING AND BASE WITH BOLLARD
(USE WHERE SIGN IS NOT WITHIN CURBED ISLAND)
N.T.S



SINGLE POST

NOTES:
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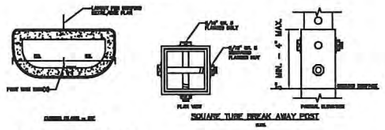
2. GALVANIZED SQUARE TUBE

POST TUBES – 3"x3"x3/16" 18ga
POST TUBE SHALL MEET ASTM A1011 GRADE 50.
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 50.

ANCHOR TUBE – 2-1/2"x2-1/2"x0.187" 12ga
HEAVY DUTY SQUARE TUBE SHALL MEET ASTM A500 GRADE B.
STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.

THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 18". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.

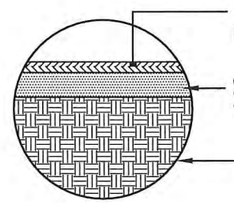


SIGN LOCATIONS – 90° PARKING

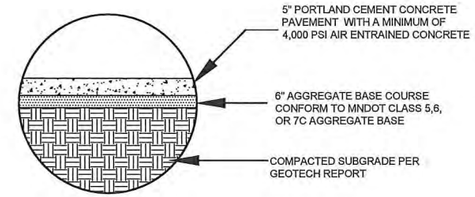
SQUARE TUBE BREAK AWAY POST

SIGN MOUNTING AND BASE WITHOUT BOLLARD
(USE WHERE SIGN IS WITHIN CURBED ISLAND)
N.T.S

SIGN MOUNTING AND BASE
N.T.S

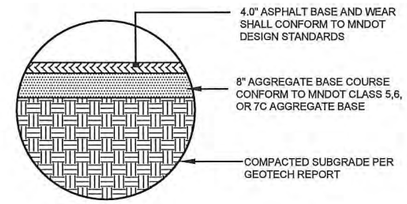


LIGHT DUTY ASPHALT PAVEMENT
N.T.S

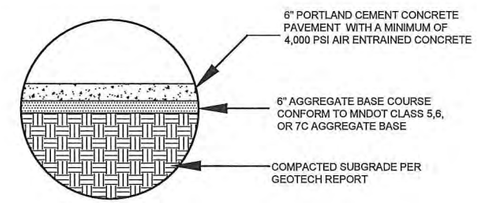


LIGHT DUTY CONCRETE PAVEMENT
N.T.S

PAVEMENT SECTIONS SHOWN ARE PROVIDED AS COURTESY ONLY. REFER TO GEOTECHNICAL REPORT FOR LIGHT DUTY PAVEMENT SUBGRADE PREPERATION AND COMPACTION REQUIREMENTS

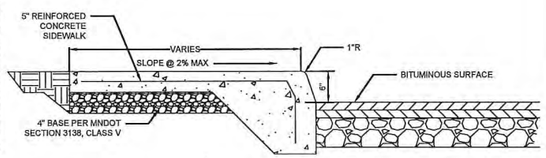


HEAVY DUTY ASPHALT PAVEMENT
N.T.S



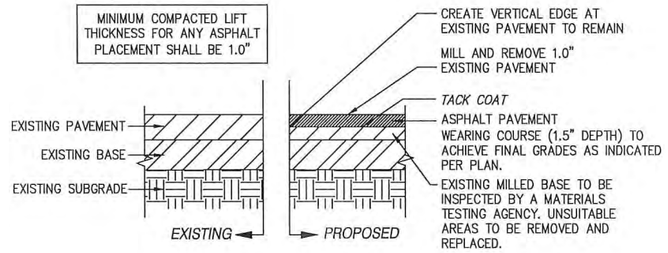
HEAVY DUTY CONCRETE PAVEMENT
N.T.S

NOTES:
AN ADEQUATE NUMBER OF LONGITUDINAL AND TRANSVERSE CONTROL JOINTS SHOULD BE PLACED IN THE PAVEMENT IN ACCORDANCE WITH ACI AND OR AASHTO REQUIREMENTS. EXPANSION JOINTS MUST BE FULL DEPTH AND SHOULD BE USED TO ISOLATE FIXED OBJECTS ABUTTING OR WITHIN THE PAVED AREA.

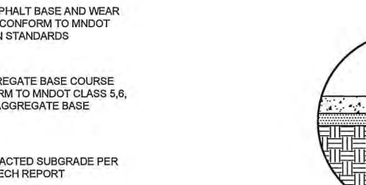


INTEGRAL SIDEWALK CURB
N.T.S

MINIMUM COMPACTED LIFT THICKNESS FOR ANY ASPHALT PLACEMENT SHALL BE 1.0"

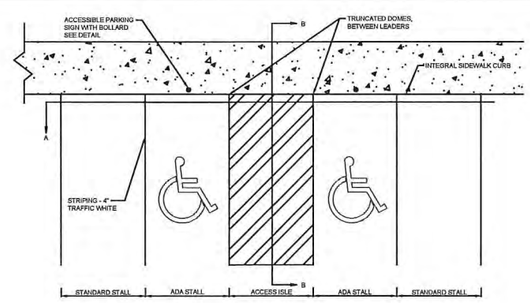


1" MILL AND OVERLAY
N.T.S.

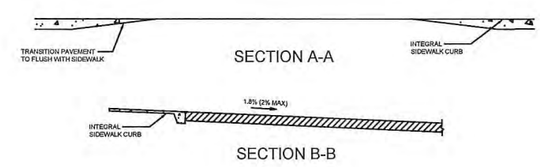


B612 CURB & GUTTER
(OUTFALL)
AP-MT
C2-00

B612 CURB & GUTTER
N.T.S.



PLAN VIEW OF ADA PARKING



SECTION A-A

SECTION B-B

ACCESSIBLE PARKING STALL
N.T.S

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MICHAEL C. BRANDT, P.E.
DATE: 04/25/2016 LIC. NO. 42661

K+H PROJECT	
DATE	04/25/2016
SCALE	AS SHOWN
DESIGNED BY	JRA
DRAWN BY	JRA
CHECKED BY	MCB

SITE DETAILS

NORTH AMERICAN BANK
SHOREVIEW, MN

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER
C-3.1

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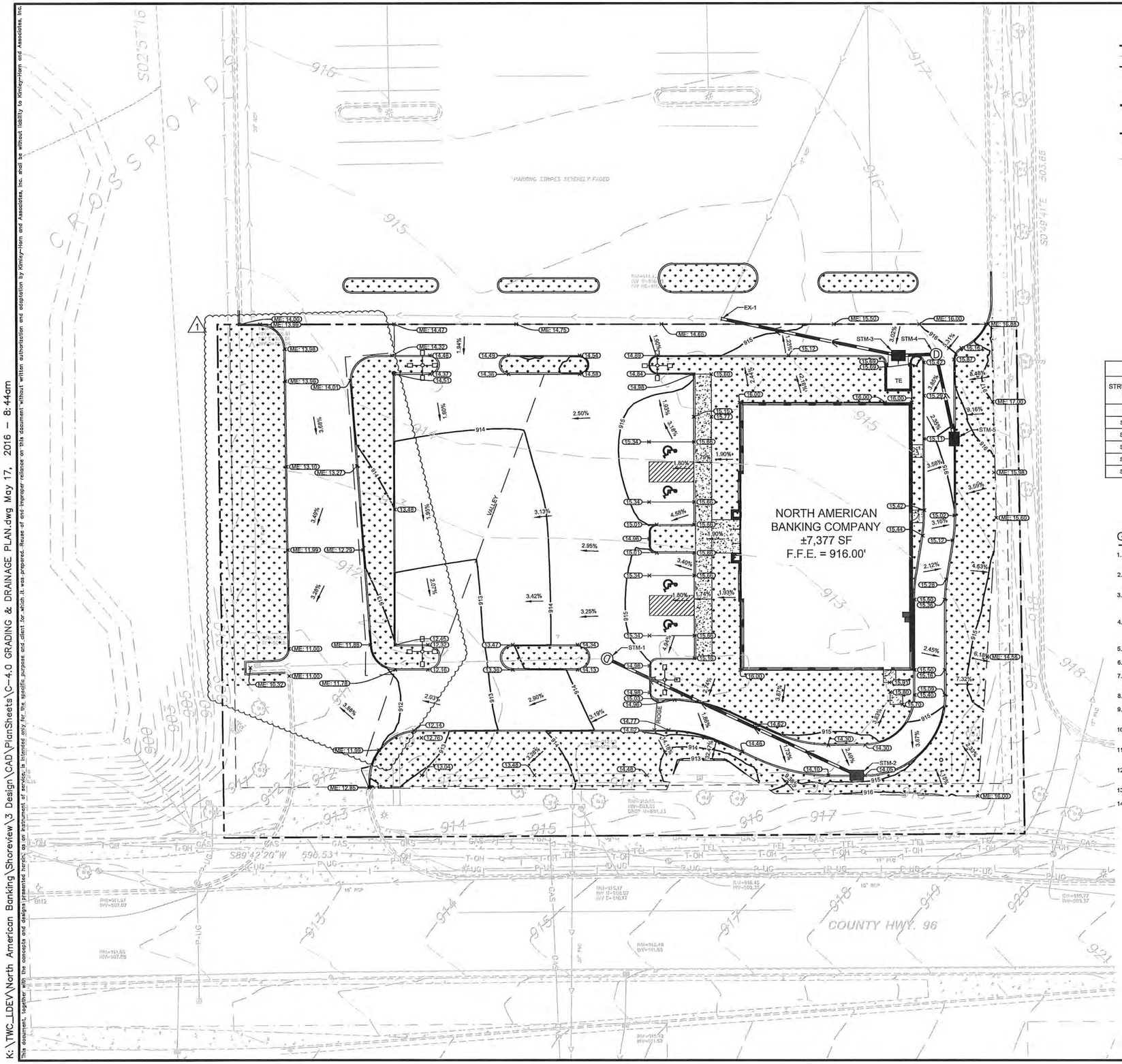

GRADING & DRAINAGE LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- 9XX PROPOSED CONTOUR
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- 100.00 PROPOSED SPOT ELEVATION
- PROPOSED RIDGE / VALLEY LINE / BREAKLINE
- EXISTING STORM STRUCTURE
- EXISTING STORM SEWER

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

DRAINAGE SCHEDULE

STRUCTURE NO.	STRUCTURE/ CASTING TYPE	RIM/GRATE ELEVATION	INVERT ELEVATION IN	PIPE SIZE IN	PIPE SLOPE IN	INVERT ELEVATION OUT	PIPE SIZE OUT	PIPE SLOPE OUT
EX-1	CONNECT TO EXIST STORM	914.88	914.13 310.90	12"	1.00%			
STM-1	48" MH	914.55	SE 908.03	12"	1.00%			
STM-2	2'x3' CATCH BASIN - NEENAH R-2067-VB	913.99				NW 909.13	12"	1.00%
STM-3	2'x3' CATCH BASIN - NEENAH R-2067-VB	915.64	E 911.62	12"	1.00%	W 911.62	12"	1.00%
STM-4	MH	915.72	S 912.12	12"	1.00%	W 911.77	12"	1.00%
STM-5	2'x3' CATCH BASIN - NEENAH R-2067-VB	914.80				N 912.46	12"	1.00%

GRADING PLAN NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SHOREVIEW, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTRACTOR TO CALL GOPHER STATE ONE CALL @ 651-454-0002 OR 800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
3. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
4. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
6. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
7. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
8. ALL STORM STRUCTURES SHALL BE GROUTED TO REMAIN WATERTIGHT.
9. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
10. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE SCHEDULE.
11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES WITH PROVIDE POSITIVE DRAINAGE.
12. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH CITY APPROVED GROUND COVER.
13. ALL SPOT ELEVATIONS/CONTOURS ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
14. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINALLY OR EXCEED 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION.

No.	REVISIONS	DATE	BY
1	CITY COMMENTS PARKING REDUCTION	5/17/16	JRA

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MICHAEL C. BRANDT, P.E.

DATE: 04/25/2016 MN LIC. NO. 42661

KHA PROJECT

DATE 04/25/2016
SCALE AS SHOWN
DESIGNED BY JRA
DRAWN BY JRA
CHECKED BY MCB

GRADING AND DRAINAGE PLAN

NORTH AMERICAN BANK
SHOREVIEW, MN

SHEET NUMBER
C-4.0

PRELIMINARY - NOT FOR CONSTRUCTION

K:\TWC_LDEV\North American Banking\Shoreview\3 Design\CAD\PlanSheets\C-4.0 GRADING & DRAINAGE PLAN.dwg May 17, 2016 - 8:44am
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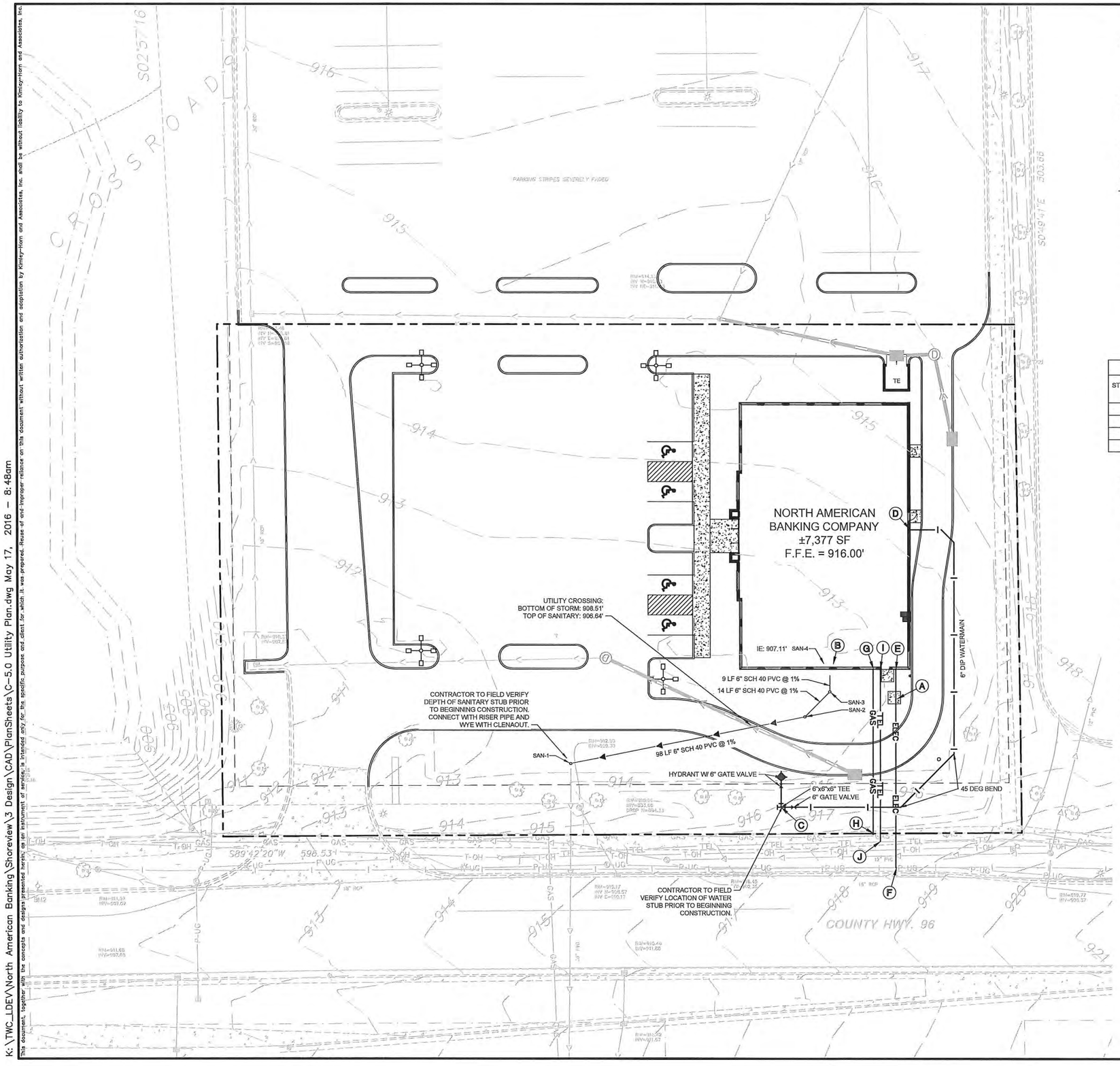

UTILITY LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED REDUCER
- PROPOSED TEE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- PROPOSED MANHOLE (STORM OR SANITARY)
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED LIGHTPOLE
- ELEC — PROPOSED UNDERGROUND ELECTRIC
- TEL — PROPOSED COMMUNICATIONS LINE
- GAS — PROPOSED GAS MAIN
- EXISTING SANITARY SEWER

GRAPHIC SCALE IN FEET
0 10 20 40

KEYNOTE LEGEND

- (A) TRANSFORMER PAD COORDINATE WITH UTILITY
- (B) SANITARY TIE-IN REF ARCH
- (C) CONNECT TO EXISTING WATER STUB
- (D) WATERMAIN CONNECTION AT BUILDING
- (E) UNDERGROUND POWER TIE-IN REF ARCH
- (F) CONNECT TO UNDEGROUND POWER COORDINATE WITH UTILITY
- (G) UNDERGROUND GAS TIE-IN REF ARCH
- (H) CONNECT TO UNDERGROUND GAS COORDINATE WITH UTILITY
- (I) UNDERGROUND COMMUNICATION TIE-IN REF ARCH
- (J) CONNECT TO UNDERGROUND COMMUNICATION COORDINATE WITH UTILITY

DRAINAGE SCHEDULE

STRUCTURE NO.	STRUCTURE/ CASTING TYPE	RIM/GRATE ELEVATION	INVERT ELEVATION IN	PIPE SIZE IN	PIPE SLOPE IN	INVERT ELEVATION OUT	PIPE SIZE OUT	PIPE SLOPE OUT
SAN-1	RISER PIPE W/ WYE & CLEANOUT	914.05	E 905.92	6"	1.00%			
SAN-2	45 DEG BEND W/ CLEANOUT	915.27	NE 906.88	6"	1.00%	W 906.88	6"	1.00%
SAN-3	45 DEG BEND W/ CLEANOUT	915.64	N 907.02	6"	1.00%	SW 907.02	6"	1.00%
SAN-4	BLDG TIE-IN	916.00				S 907.11	6"	1.00%

UTILITY PLAN NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
   8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
   8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
   6" PVC SCHEDULE 40
   DUCTILE IRON PIPE PER AWWA C150
3. WATER LINES SHALL BE AS FOLLOWS:
   PIPE MATERIAL FOR 8" DUCTILE IRON PIPE MUST BE CLASS 52, PIPE MATERIAL FOR 6" AND 4" DUCTILE IRON PIPE MUST BE CLASS 53.
4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
7. WATER SERVICES TO BE INSTALLED ACCORDING TO SPRWS "STANDARDS FOR THE INSTALLATION OF WATER MAINS".
8. ALL PIPE WORK INSIDE OF PROPERTY TO BE PERFORMED BY A PLUMBER LICENSED BY THE STATE OF MINNESOTA AND CERTIFIED BY THE CITY OF SHOREVIEW.
9. CASING AND SPACER MATERIALS TO BE INSTALLED BY PRIVATE CONTRACTOR.
10. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-5" COVER ON ALL WATERLINES.
11. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
13. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
15. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES OF SHOREVIEW WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
18. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
19. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
20. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
21. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH. PLANS.
22. ALL ONSITE WATERMAINS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.

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1	CITY COMMENTS PARKING REDUCTION	5/17/16	JRA

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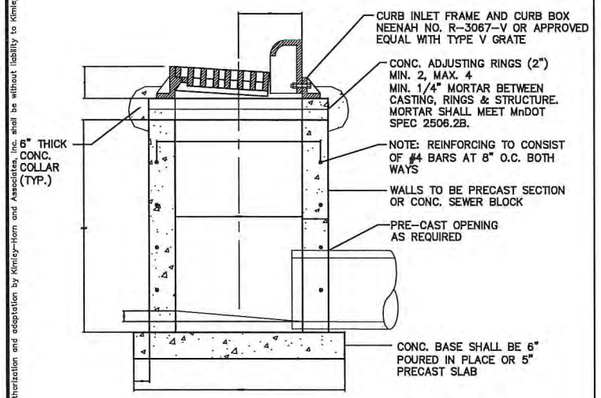
MICHAEL C. BRANDT, P.E.
MN
DATE 04/25/2016 LIC. NO. 42861

KHA PROJECT	
DATE	04/25/2016
SCALE	AS SHOWN
DESIGNED BY	JRA
DRAWN BY	JRA
CHECKED BY	MCB

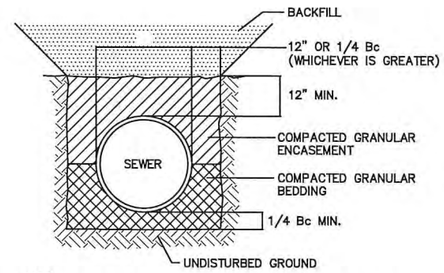
UTILITY PLAN

NORTH AMERICAN BANK
SHOREVIEW, MN

SHEET NUMBER
C-5.0

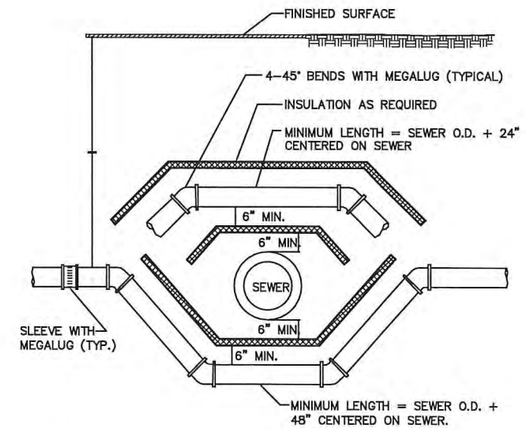


RECTANGULAR CATCHBASIN (2' X 3')



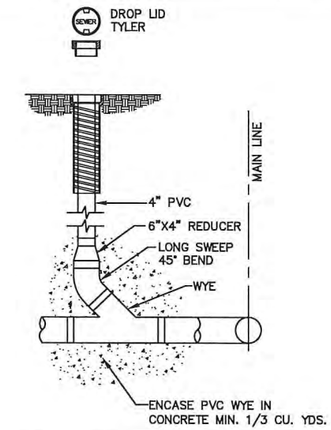
NOTE:
ALL PIPES SHALL BE BEDDED IN THE EXISTING POORLY GRADED SANDS. SUBCUT BELOW PIPES A MINIMUM OF 1FT AND BACKFILL WITH POORLY GRADED SANDS.

PIPE BEDDING (CLASS B)
FOR STORM SEWER , SANITARY SEWER , AND WATER MAIN



NOTES:
1. MAINTAIN 6" MINIMUM CLEARANCE BETWEEN SEWER & INSULATION
2. MAINTAIN MINIMUM 6" SELECT GRANULAR MATERIAL AROUND INSULATION.

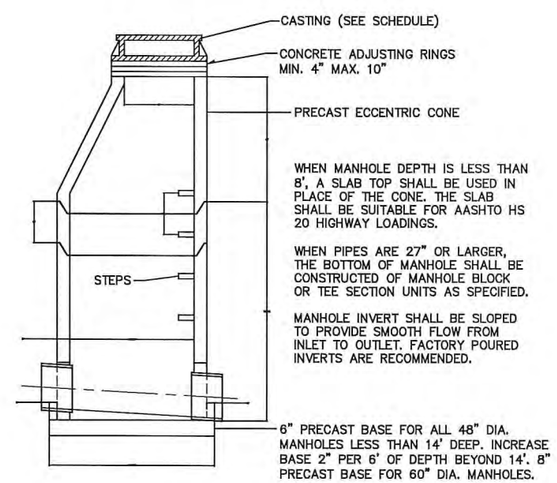
TYPICAL WATERMAIN OFFSETS



NOTES:
G.V. BOX TOP SECTION WITH DROP LID (SEWER)

ENCLOSE LONG SWEEP BEND OR COMBINATION WYE IN CONCRETE AS SHOWN.

SANITARY SEWER CLEANOUT

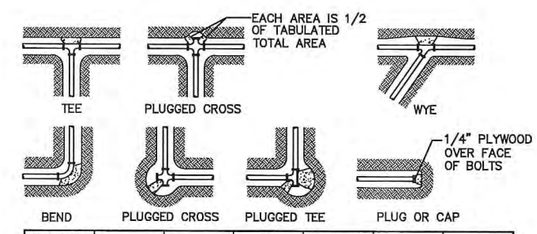


WHEN MANHOLE DEPTH IS LESS THAN 8', A SLAB TOP SHALL BE USED IN PLACE OF THE CONE. THE SLAB SHALL BE SUITABLE FOR AASHTO HS 20 HIGHWAY LOADINGS.

WHEN PIPES ARE 27" OR LARGER, THE BOTTOM OF MANHOLE SHALL BE CONSTRUCTED OF MANHOLE BLOCK OR TEE SECTION UNITS AS SPECIFIED.

MANHOLE INVERT SHALL BE SLOPED TO PROVIDE SMOOTH FLOW FROM INLET TO OUTLET. FACTORY POURED INVERTS ARE RECOMMENDED.

CATCH BASIN/STORM MANHOLE



NOMINAL FITTING SIZE, INCHES	TEE, WYE, PLUG OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22 1/2° BEND	11 1/4° BEND
			A^1	A^2			
4	1.0	1.4	1.9	1.4	1.0	–	–
6	2.1	3.0	4.3	3.0	1.6	1.0	–
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0
10	5.9	8.4	11.8	8.4	4.6	2.6	1.2
12	8.5	12.0	17.0	12.0	6.6	3.4	1.7
14	11.5	16.3	23.0	16.3	8.9	4.6	2.3
16	15.0	21.3	30.0	21.3	11.6	6.0	3.0
18	19.0	27.0	38.0	27.0	14.6	7.6	3.8
20	23.5	33.3	47.0	33.3	18.1	9.4	4.7
24	34.0	48.0	48.0	68.0	26.2	13.6	6.8

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 P.S.I. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 POUNDS PER SQUARE FOOT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION:
BEARING AREA=(TEST PRESSURE/150)x(2000/SOIL BEARING STRESS)x(TABLE VALUE)

NOTES:
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
2. KEEP CONCRETE CLEAR OF JOINTS AND ACCESSORIES.
3. IF NOT SHOWN ON PLANS, REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED ABOVE, ADJUST IF NECESSARY TO CONFORM TO THE TEST PRESSURES AND ALLOWBLE SOIL BEARING STRESS(ES).
4. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN THIS STANDARD DETAIL.

WATERMAIN THRUST BLOCKING

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MICHAEL C. BRANDT, P.E.
MN LIC. NO. 42681
DATE: 04/25/2016

KHA PROJECT
DATE 04/25/2016
SCALE AS SHOWN
DESIGNED BY JRA
DRAWN BY JRA
CHECKED BY MCB

UTILITY DETAILS

NORTH AMERICAN BANK
SHOREVIEW, MN

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER
C-5.1

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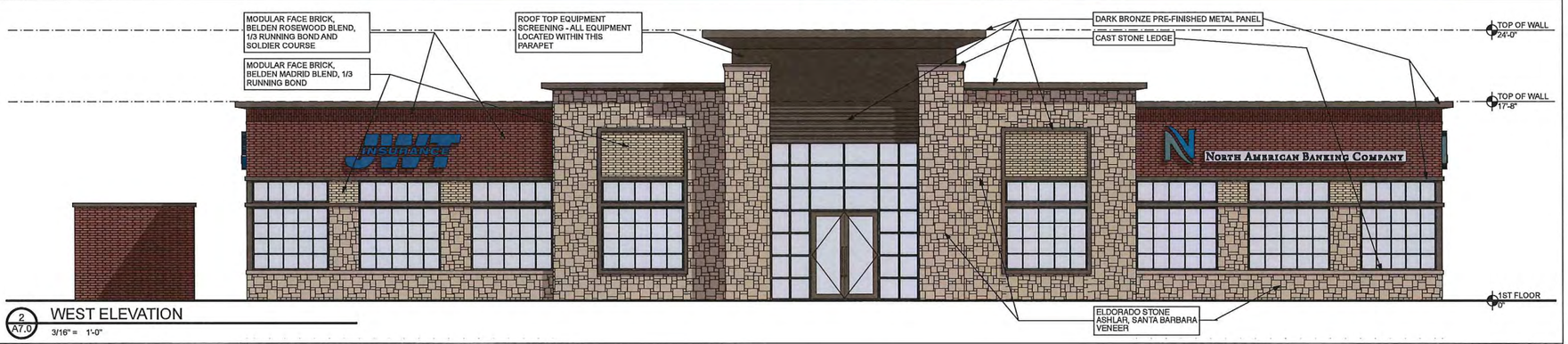

2 A7.0 WEST ELEVATION
3/16" = 1'-0"

3 A7.0 EAST ELEVATION
3/16" = 1'-0"

12 A7.0 SOUTH ELEVATION
3/16" = 1'-0"

4 A7.0 NORTH ELEVATION
3/16" = 1'-0"

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CONSULTANT:

WILKUS ARCHITECTS
15 Ninth Avenue North, Hopkins, MN 55343
Phone: 952.941.8660/ www.wilkusarch.com

CLIENT:

North American Banking Company

PROJECT INFORMATION:

NORTH AMERICAN BANKING COMPANY
SHOREVIEW, MINNESOTA

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Print Name:

Signature:

License No.:

Expiration Date: 00-00-00

Date: 00-00-00

PROJECT NO.:	2015-0168
DRAWN BY:	DLP
CHECKED BY:	DLP

ISSUE:	DATE:
PREVIEW	2015-02-26
PREVIEW	2015-03-31
PREVIEW	2015-04-18
PREVIEW	2015-04-19
PREVIEW	2015-04-20
PRELIMINARY BIDDING	2015-04-21
PLANNING COMMISSION	2015-04-25

PROJECT LOCATION:

SHOREVIEW, MN

SHEET NUMBER / TITLE:

A7.0

Exterior Elevations

GENERAL NOTES

ENTER TEXT HERE

FLOOR PLAN LEGEND

1 ENTER TEXT HERE

BUILDING TOTAL SQUARE FOOTAGE 7,377 SF

ARCHITECTURAL FLOOR PLAN
3/16" = 1'-0"

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CONSULTANT:

WILKUS ARCHITECTS

15 Ninth Avenue North, Hopkins, MN 55343
Phone: 952.941.8660/ www.wilkusarch.com

CLIENT:

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SHOREVIEW, MINNESOTA

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Signature:

License No.:

Expiration Date: 00-00-00

Date: 00-00-00

PROJECT NO.: 2015-0168

DRAWN BY: DLP

CHECKED BY: DLP

ISSUE:	DATE:
PREVIEW	2015-02-26
PREVIEW	2015-03-31
PREVIEW	2015-04-18
PREVIEW	2015-04-19
PREVIEW	2015-04-20
PRELIMINARY BIDDING	2015-04-21
PLANNING COMMISSION	2015-04-25

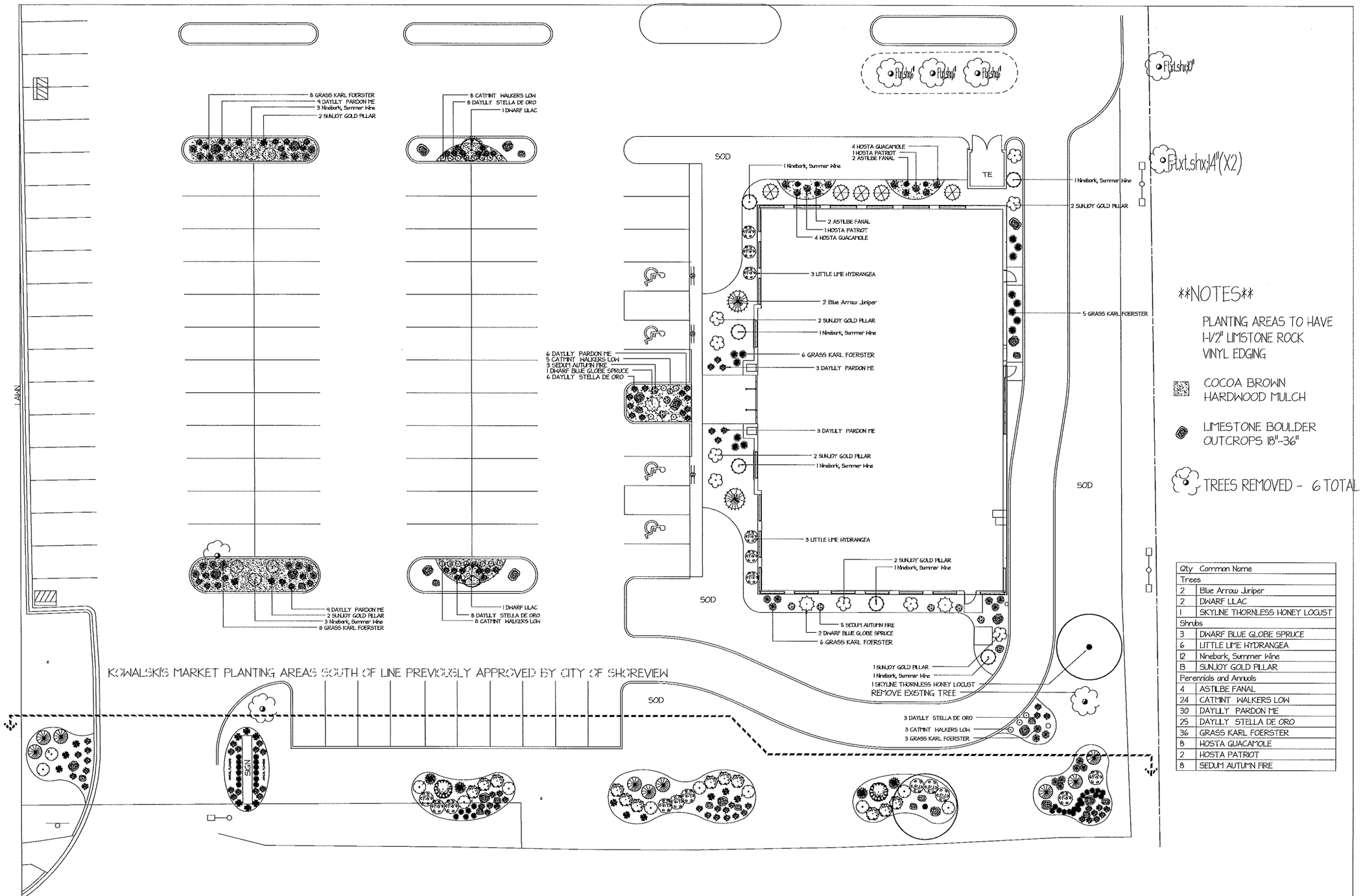
PROJECT LOCATION:

SHOREVIEW, MN

SHEET NUMBER / TITLE:

A2.1

Architectural Floor Plan



NOTES

PLANTING AREAS TO HAVE 1-1/2" LIMSTONE ROCK VINYL EDGING

COCOA BROWN HARDWOOD MULCH

LIMESTONE BOULDER OUTCROPS 18"-36"

TREES REMOVED - 6 TOTAL

Qty	Common Name
Trees	
2	Blue Arrow Juniper
2	DWARF LILAC
1	SKYLINE THORNLESS HONEY LOCUST
Shrubs	
3	DWARF BLUE GLOBE SPRUCE
6	LITTLE LIME HYDRANGEA
12	Ninebark, Summer Wine
13	SUNJOY GOLD PILLAR
Perennials and Annuals	
4	ASTILBE FANAL
24	CATMINT WALKERS LOW
30	DAYLILY PARDON ME
25	DAYLILY STELLA DE ORO
36	GRASS KARL FOERSTER
8	HOSTA GUACAMOLE
2	HOSTA PATRIOT
8	SEDUM AUTUMN FIRE

DreamScapes
Landscaping & Design, Inc.

NORTH AMERICAN BANK

SHOREVIEW, MN

1"=16'-0"

SCALE IN FEET

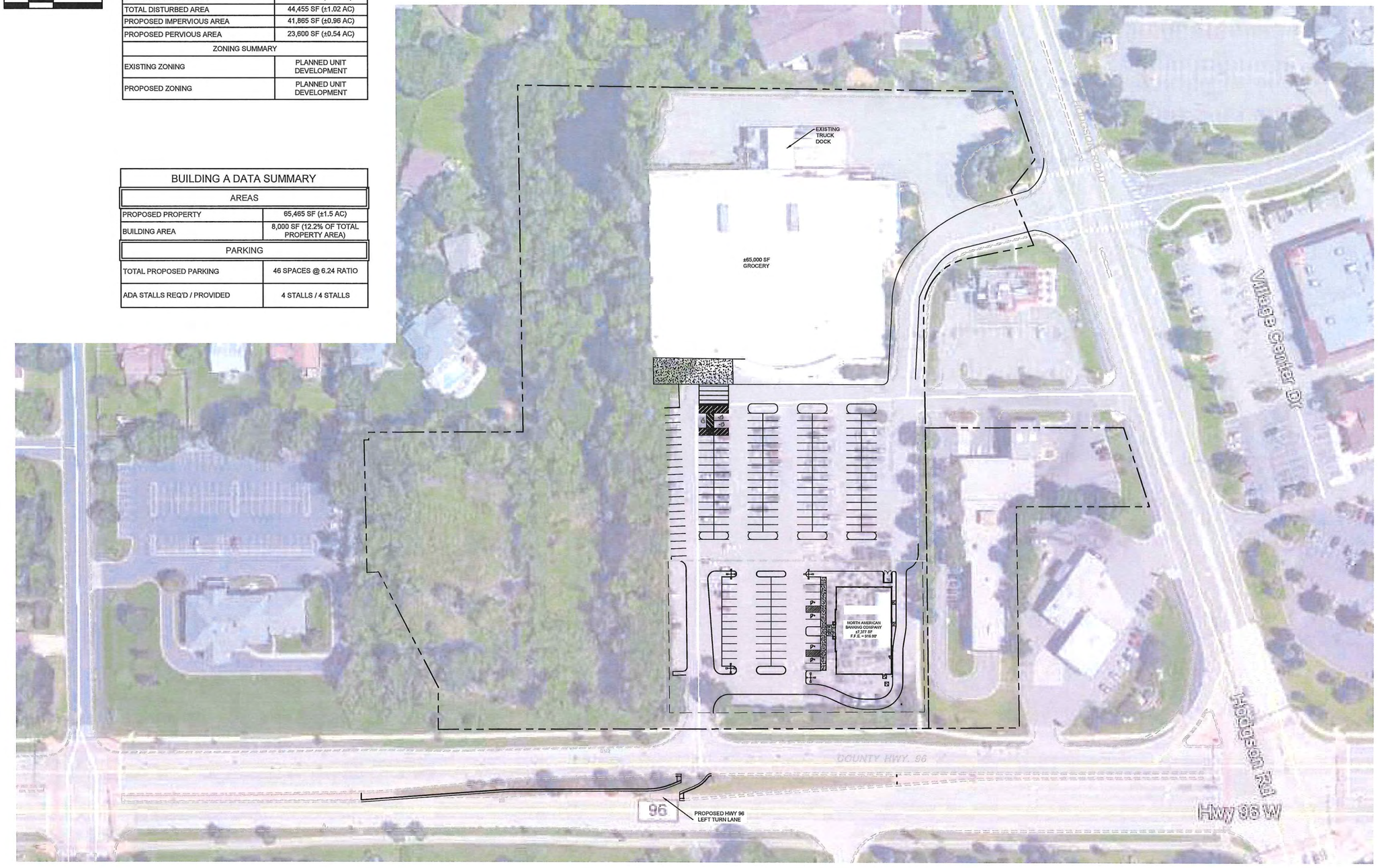
SHEET
L1

NORTH

GRAPHIC SCALE IN FEET
0 30' 60' 120'

PROPERTY SUMMARY	
NORTH AMERICAN BANKING COMPANY	
TOTAL PROPERTY AREA	65,465 SF (±1.5 AC)
TOTAL DISTURBED AREA	44,455 SF (±1.02 AC)
PROPOSED IMPERVIOUS AREA	41,865 SF (±0.96 AC)
PROPOSED PERVIOUS AREA	23,600 SF (±0.54 AC)
ZONING SUMMARY	
EXISTING ZONING	PLANNED UNIT DEVELOPMENT
PROPOSED ZONING	PLANNED UNIT DEVELOPMENT

BUILDING A DATA SUMMARY	
AREAS	
PROPOSED PROPERTY	65,465 SF (±1.5 AC)
BUILDING AREA	8,000 SF (12.2% OF TOTAL PROPERTY AREA)
PARKING	
TOTAL PROPOSED PARKING	46 SPACES @ 6.24 RATIO
ADA STALLS REQ'D / PROVIDED	4 STALLS / 4 STALLS



No.	REVISIONS	DATE	BY

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KHA PROJECT

DATE	04/25/2016
SCALE	AS SHOWN
DESIGNED BY	JRA
DRAWN BY	JRA
CHECKED BY	MCB

NORTH AMERICAN BANK
SHOREVIEW, MN

SHEET NUMBER
EX-3

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TO: Planning Commission

FROM: Rob Warwick, Senior Planner

DATE: May 20, 2016

SUBJECT: File No. 2617-16-16, Orchard – Residential Design Review and Variance

INTRODUCTION AND BACKGROUND

Beau and Mary Orchard have submitted applications for Residential Design Review and Variance for the property located at 400 Horseshoe Drive. The Orchards propose construction of a new house with an attached three-car garage on this substandard lot riparian to Lake Owasso. The proposed house location requires variances to increase the maximum setback from the Ordinary High Water (OHW), and to reduce the rear (east) setback. The existing two-story house and an 855 square foot detached garage will be removed. The application was complete May 13, 2016.

In 2010, the Planning Commission approved variances for a new house and attached garage for the property. The variances reduced the rear setback and increased the front setback for the proposed house. The applicant did not apply for a building permit, and that variance approval expired.

PROJECT DESCRIPTION

The subject property is an L-shaped lot with an area of 27,593 square feet (0.63 acre). The property is developed with a two-story house, an 855 square foot detached garage, a small lakeside shed, and a gravel and concrete drive and parking area. The house was constructed in the early 1900s and the detached garage in 1996. The existing structures, except the shed, are located on the northern portion of the lot and oriented towards Horseshoe Drive rather than the lakefront.

The rear (east) lot line abuts a private drive which provides access for five properties to North Owasso Boulevard (see aerial photo).

The applicant proposes to construct a new two-story house that has about 1300 square feet of main floor living area. The house is designed with a walk-out lower level using the existing site topography. A 992-square foot, three-car garage is attached to the house. The proposed house is orientated towards the lake, with an OHW setback of 164.6 feet, and a front setback of 53 feet. The dwelling is proposed with an enclosed screen porch setback 16.1-feet from the east lot line, which is the defined rear lot line. The main portion of the house is setback 28.1 feet from the east/rear lot line.

Please see the attached plans.

DEVELOPMENT ORDINANCE REQUIREMENTS

The subject property is located in the R-1 Detached Residential District and the Shoreland Overlay District of Lake Owasso. It is substandard since lake lots are required to have a minimum width of 100 feet measured in three locations – the front lot line, the OHW and the building setback from the OHW. The subject property is about 66 feet wide at the OHW and the building setback line from the OHW. Construction on substandard lake lots is subject to certain design standards that have been adopted by the City, and compliance with these standards is determined through the Residential Design Review.

The lot is 'L' shaped, with the front lot line abutting Horseshoe Drive. The rear lot line is defined as that line most opposite the front, and so the east lot line is the rear lot line. A minimum 30-foot setback is required from the rear lot line, and a variance has been requested for the proposed 16.1-foot living area for an enclosed porch, with the main house setback 28.1 feet from the rear lot line.

The front setback for the property is based on the setback of the house located at 398 Horseshoe, to the north, and so the resulting front setback for the subject property is 43 feet, plus or minus 10 feet. The attached garage is shown with a 53 foot front setback, and so complies with the required front setback.

The setback from the Ordinary High Water (OHW) of Lake Owasso is also based on the locations of the dwellings on the adjacent riparian lots, which are 406 Horseshoe Dr. and 376 No. Owasso Boulevard. The average of these setbacks uses the 50-foot minimum for the property at 376 since it is less than the 50-foot minimum from the OHW. The setback range for the subject property is a range from 57.45 feet to 77.45 feet.

One landmark tree will be removed for the project and replacement trees are required at a ratio of 2 trees for each landmark removed.

The discussion below details City requirements, site characteristics and conditions as they relate to these requests to redevelop the property.

RESIDENTIAL DESIGN REVIEW

The Development Ordinance requires residential construction on substandard riparian lots to comply with certain design standards that have been adopted by the City. The design standards and the corresponding project information are listed in the table below.

Standard	Allowed	Proposed
Lot Coverage	Existing: 6,030 square feet (21.85 %) Maximum: 30 % (8,278 sf)	4857 square feet (17.6 %)
Building Height	35 feet	35 feet
Foundation Area	4,966.7 square feet (18% of lot area)	2581 square feet (9.35% of lot area)
Setbacks		
Front (West)	33– 53 feet	53 feet
OHW (Lake)	57.45 – 77.45 feet	166.4 feet*
Rear (East)	30 feet	28.1 feet house; 16.1 feet porch*
Side		
North	10 feet	13 feet
West	10 feet	22 feet
Architectural Mass	Encourage use of natural colors/materials, landscaping.	Vinyl lap siding and shakes in hues of brown. White trim.

*** Variances are requested to reduce the rear setback and increase the setback from the OHW.**

The proposal complies with the design standards, except the OHW and rear setbacks, and as such the Residential Design Review application cannot be approved without approval of variances, as requested.

VARIANCE

The following variances are requested for the project:

- Increase the setback from the Ordinary High Water (OHW) from the maximum 77.45 feet to 166.4 feet;
- Reduce the rear setback from the minimum 30 feet to 16.1 feet for the screen porch and 28.1 feet for the main portion of the house.

Variance Criteria

When considering a variance request, the Commission must determine whether practical difficulty exists and find that granting the variances is in keeping with the spirit and intent of the ordinance. Practical difficulty is defined and reviewed using these criteria:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

Applicant's Statement

The applicant states that the proposed two-story house is situated in a location on a portion of the property that has the least impact on the adjoining lake lots. The 'L' shaped lot makes it impractical to comply with the front and OHW setbacks that are required. See the attached statement.

STAFF REVIEW

The staff has reviewed the proposal and found that the proposed home is in accordance with the design standards, except for the OHW and rear setbacks. As such, the Residential Design Review application can be approved only if the variances discussed below are approved.

Reasonable Use

The staff finds that the proposal represents a reasonable use of the property. The proposed house and attached garage are uses permitted in the R-1 District and comply with design standards for height, foundation area, lot coverage, setback (front, and the north and west sides) and architectural mass which have been adopted by the City for substandard lake lots, except for the requested setback variances. The house is located so that the lakeviews are available for the living areas within. This is the usual development pattern on lakeshore properties throughout the City, regardless of lot orientation or depth.

Unique Circumstances
Staff believes that unique circumstances stem from the lot configuration and size relative to nearby riparian lots. Due to the size and configuration, staff believes it is not reasonable to expect a new house on the property that complies with the both the calculated front and OHW setbacks. Staff observes that this riparian property is subject to calculated setbacks for both the front (street) and OHW. The intent of the Code is that houses will roughly align when viewed from the street, and that the alignment along the OHW will preserve water views for the property owners. Generally, when calculated front and OHW setbacks are required, both calculations are based on the same adjacent properties, with the parcels having frontage on a single street and similar lot depths to the OHW. However in this case, the front setback is based solely on the location of a house on a non-riparian lot (398 Horseshoe Dr.), while the OHW calculation is based on the location of a houses on two different riparian lots (406 Horseshoe and 376 No. Owasso Blvd.), each having a different street orientation than each other and the subject property. With a much greater lot depth than adjoining parcels, staff believes that a new house will require a variance to increase either the front or OHW maximum setback.

As noted above, the L-shaped lot fronts on Horseshoe drive, and the east lot line is by definition the rear line. This circumstance is unusual. City Code is based on an expectation of a grid style development pattern, with generally rectangular residential lots. For residential development, the Code discourages side lot lines that do not abut side lot lines of adjacent lots, or rear lot line that do not abut the rear lot lines of adjacent lots. The rear lot line of the subject, as defined, is a side lot line for the property to the east, and when viewed from the lake, appears as a side lot line. Staff believes that the rear setback variance represents a request to treat the east lot line as a side line, and so in a manner consistent with the development pattern that exists for the other riparian lots along Horseshoe Drive and the two properties east of the subject property. The proposed setbacks of about 16-feet for the enclosed porch and about 28 feet for the main living area of the house exceed the minimum 10-foot side setbacks required for other substandard riparian lots in the R-1 District.
The lot is large, and includes a buildable area of more than 10,000 square feet. Based on the minimum required front, rear, side and OHW setbacks, staff annotated a site plan to show the buildable area (see attachment), which has two notable components:

- A rectangular northern portion of approximately 7,400 square feet (87 by 85 feet); and
- A narrow southern portion of approximately 3,350 square feet (26 by 130 feet).

The front and OHW setbacks area shown on an annotated survey. In order to construct a house without any variances the house must fall within the ranges for **both** those setbacks, as shown by the maximum setback lines shown on the plan. The survey also demonstrates the approximate building pad area on the property.

Neighborhood Character
The neighborhood is a mix of house and lot types, styles, and ages. Many structures do not conform to established setbacks, and variances have often been approved in order to allow property owners to construct improvements. The practical difficulty often is a result of lot narrowness and configuration. Riparian lots along Horseshoe Drive were originally platted with 50-foot widths, and

the lots that exist now generally have either 50- or 75-foot widths reflecting that original plat and the subsequent division of three platted lots (50 feet each) into two lots (75 feet each).

Houses located along the lakeshore are generally aligned to the lakeshore despite the topographic variation that is present along the lake (see attached aerial photo). Side setbacks less than 10-feet are common features on these lakeshore lots.

Given these characteristics, staff does not believe the essential character of the neighborhood will be affected by granting the variance request.

SHORELAND MITIGATION

In accordance with the Development Code, shoreland mitigation is required of property owners who are seeking land use approvals through the City. The proposal employs two practices, Architectural Mass and Reduction of Impervious Surface Coverage. Architectural mass utilizes natural colors and materials for the proposed house. Impervious surfaces will be reduced by about 20%, from the existing 6,030 sq. ft., to 4,857 sq. ft. This proposal complies with the City's requirements. A Mitigation Affidavit is required, and will be recorded with Ramsey County.

REQUEST FOR COMMENT

Property owners within 350 feet were notified of the applicant's request, and two comments have been received in response, one identifying concern with construction activity and noise, the other concern about the condition of the water oriented shed, and site grading/runoff. These comments are attached.

Staff of the Ramsey Washington Metro Watershed District (RWMWD) identified that a District permit is not required for the project. DNR staff was also notified but did not comment.

The City Engineer reviewed the site plan and commented that a more detailed plan will be required prior to issuance of any permits for the project. The grading plan must demonstrate that stormwater runoff will be managed in a way that does not impact adjoining properties or Lake Owasso.

RECOMMENDATION

Staff believes that the variance requests meet the variance criteria as discussed above. Reducing the rear setback, while increasing the OHW setback, allows the house to be located with lake views, reducing potential impacts on the adjoining riparian owners and visual impacts when viewed from the water. As such, staff recommends approval of the variance requests.

With approval of the variances, the proposal complies with the adopted City standards for construction on a substandard riparian lot, and so staff recommends the Planning Commission adopt Resolution 16-44, approving the requested variances, and approve the Residential Design Review application, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted with the applications. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.

2. The attached garage shall not exceed 992 square feet in size.
3. The mitigation plan shall be completed within one year of this approval date. A Mitigation Affidavit shall be executed prior to the issuance of a building permit for the new home.
4. One landmark trees will be removed. Two replacement trees are required.
5. A demolition permit is required prior to removal of the existing structures. Erosion and sediment control practices shall be implemented in accordance with City Code. Tree protection measures shall be installed prior to demolition.
6. A revised grading plan shall be submitted for City approval prior to issuance of a demolition permit. The grading plan shall detail practices for managing stormwater runoff demonstrating that adjoining properties will not be affected.
7. This approval will expire after one year if a building permit has not been issued and work commenced.

Attachments:

1. Location Map
2. Aerial Photos
3. Applicant's Statement and Submitted Plans
4. Comments received
5. Resolution 16-44
6. Mitigation Affidavit
7. Motion Sheet

t:\2016 planning cases\2617-16-16 orchard pc report

MapRamsey

400 HORSESHOE DRIVE E

Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries
- Airports

Notes

Enter Map Description

300.0 0 150.00 300.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

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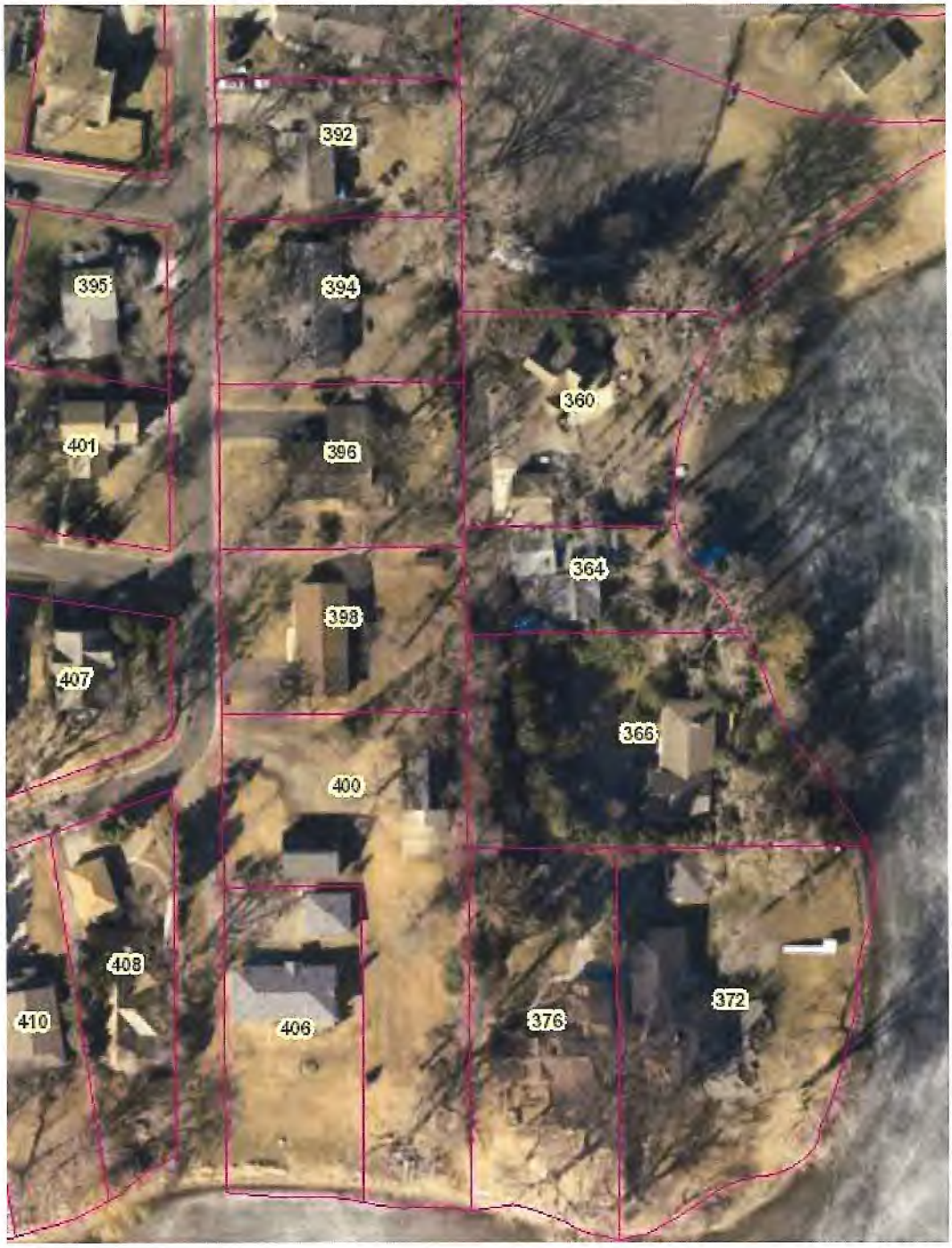
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

MapRamsey

400 Horseshoe Drive East



Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
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- Parcel Boundaries
- Airports

200.0 0 100.00 200.0 Feet

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NAD_1983_HARN_Adj_MN_Ramsey_Feet

© Ramsey County Enterprise GIS Division

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Notes

Enter Map Description

Existing detached garage and house, 400 Horseshoe Dr.

Variance for 400 E. Horseshoe Drive

OHW Setback

City Code 201.010

Applicants believe that their purpose and intent are in line with City Code 201.010 in Regards to most all of A-L.

Practical difficulties

1. Applicant intends to use the property in a reasonable manner and needs the variances in order to build a home that will not suffer from an economic and aesthetic hardship. (Lake view and lot usage)
2. The unique L shape of the lot creates the need for the variance to comply with city code
3. Placing the home in the location as it show in the drawing enhances the site and will create a harmony with the lakeside neighbors on either side of the lot.

Variance for 400 E. Horseshoe Drive

OHW Setback

The buyer intends to tear down the existing home and will tear down or remove the existing garage on the site. Because the lot is L shaped it is not possible for a new home to be constructed that would be able to comply with the city's setback requirements to the road and OHW setback from the water.

The Buyer/Applicant is able to with the design of the new home, comply with the front yard setback.

The applicant is requesting a variance for the OHW set back from Lake Owasso. The buyers choose to keep the home to the back of the lot instead of bringing it up to the OHW set back. One of the reasons was in consideration for the neighbors on either side who had objections in the past to having a home located in that OHW set back area.

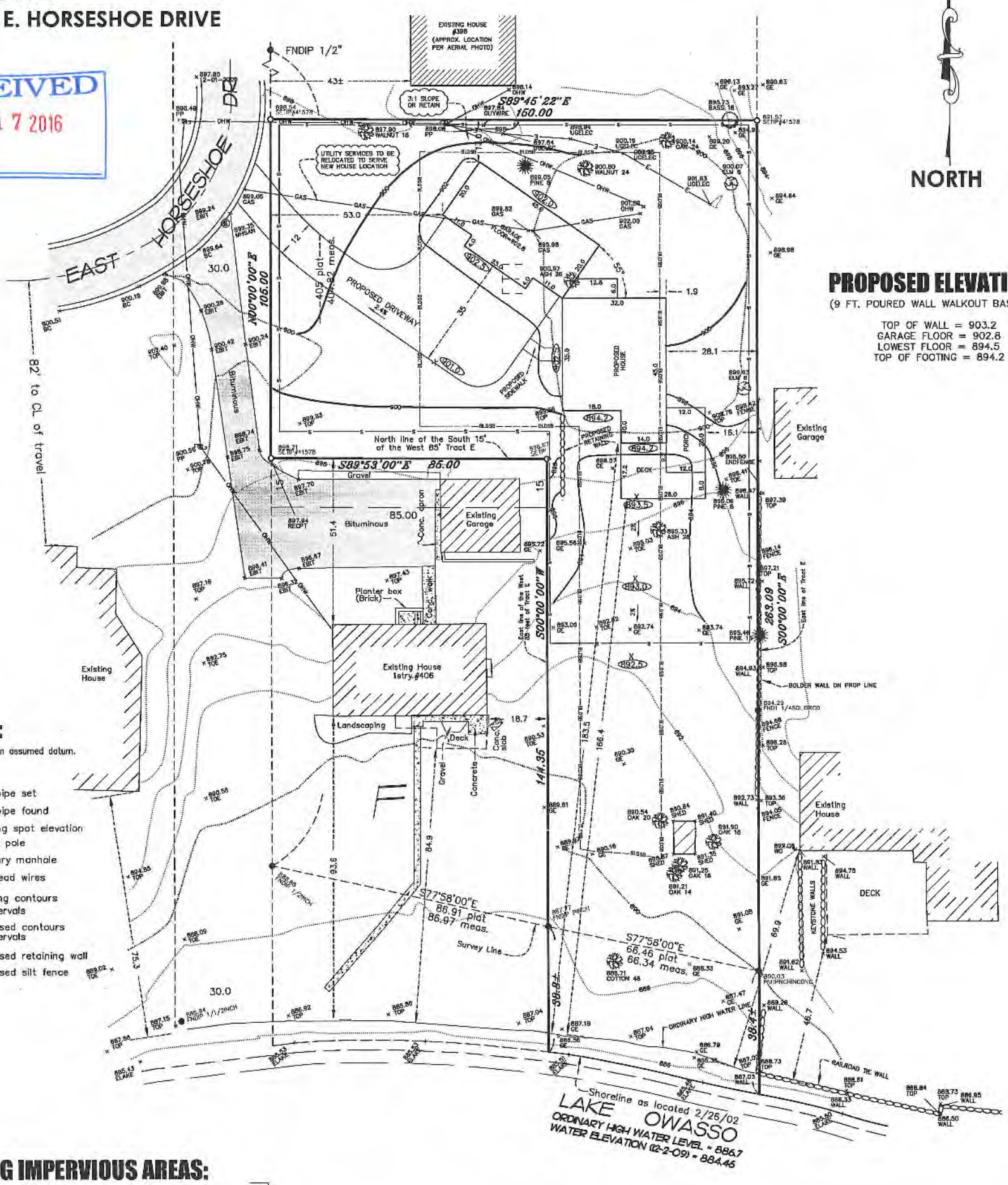
Thank You.

CERTIFICATE OF SURVEY

~for~ LEE HOMES

~of~ 400 E. HORSESHOE DRIVE

RECEIVED
MAY 17 2016
BY:



PROPOSED ELEVATIONS

(9 FT. POURED WALL WALKOUT BASEMENT)

TOP OF WALL = 903.2
GARAGE FLOOR = 902.8
LOWEST FLOOR = 894.5
TOP OF FOOTING = 894.2

LEGEND:

Note: Bearings shown are on an assumed datum. NGVD vertical datum.

- Denotes iron pipe set
- Denotes iron pipe found
- x 123.45 Denotes existing spot elevation
- Denotes power pole
- Denotes sanitary manhole
- —ohw— Denotes overhead wires
- Denotes existing contours 2' contour intervals
- Denotes proposed contours 2' contour intervals
- Denotes proposed retaining wall
- —s— Denotes proposed silt fence

EXISTING IMPERVIOUS AREAS:

Total parcel area = 27,593 sqaure feet – 0.63 acres
(Above 886.7 contour)
Existing house = 1,072 square feet
(including deck, wood platform, porch, cellar entrance and entrance)
Existing garage = 855 square feet
Existing shed = 70 square feet
Existing concrete = 717 square feet
Existing gravel areas = 3,316 square feet
Existing coverage = 6,030 square feet
Existing Impervious Surface = 21.85% (using above items)

PER ORIGINAL 2009 SURVEY

BENCHMARK:

Benchmark– Rim of sanitary manhole at centerline of West Horseshoe Drive opposite lot 8, CHAPMAN'S LAKE OWASSO BEACH elevation = 905.57 Invert elevation = 894.26

LEGAL DESCRIPTION:

Tract E, of Registered Land Survey No. 194, except The Southerly 15 feet of the West 85 feet thereof, Ramsey County, Minnesota.

PROPOSED IMPERVIOUS AREAS:

Total parcel area = 27,593 sqaure feet – 0.63 acres
(Above 886.7 contour)
Proposed house (includes porch) = 2,581 square feet
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Proposed sidewalk = 49 square feet
Proposed driveway = 2,157 square feet
Proposed coverage = 4,857 square feet
Existing Impervious Surface = 17.60% (using above items)

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 12/2/09 and 5/5/16.
- Bearings shown are on an assumed datum.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.

DRAWN BY: BAB	JOB NO: 16345HS	DATE: 5/3/16	
CHECK BY: JER	SCANNED ☐		
1	5/17/16	MOVE HSE 2' N. AND 1.5' W.	BAB
2			
3			
NO.	DATE	DESCRIPTION	BY

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 5/17/2016 License No. 41578

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

16345HS

PRELIMINARY PLAN

EFFORT HAS BEEN MADE TO ENSURE THESE PLANS ARE ACCURATE AND COMPLETE; HOWEVER, THEY WERE PREPARED UPON REQUEST BY DRAFTSPERSONS WHO ARE NOT REGISTERED ARCHITECTS OR ENGINEERS AND NO WARRANTIES ARE EXPRESSED OR IMPLIED. THEY ARE INTENDED AS A GUIDE FOR REGULAR WAY AND COMMONLY ACCEPTED CONSTRUCTION PRACTICES. IT IS THE RESPONSIBILITY OF THE OWNER, BUILDER OR USER OF THESE PLANS TO VERIFY ALL DIMENSIONS, DETAILS, ELEVATIONS, SITE CONDITIONS, SPECIFICATIONS, AND STRUCTURAL COMPONENTS INCLUDING THE APPLICATION AND INSTALLATION OF CORRECT MATERIALS. DRAFTING & DESIGN, LLC. ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, OR SITE CHANGES OR IMPROPER CONSTRUCTION METHODS. ALL WORK TO BE DONE IN COMPLIANCE WITH APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

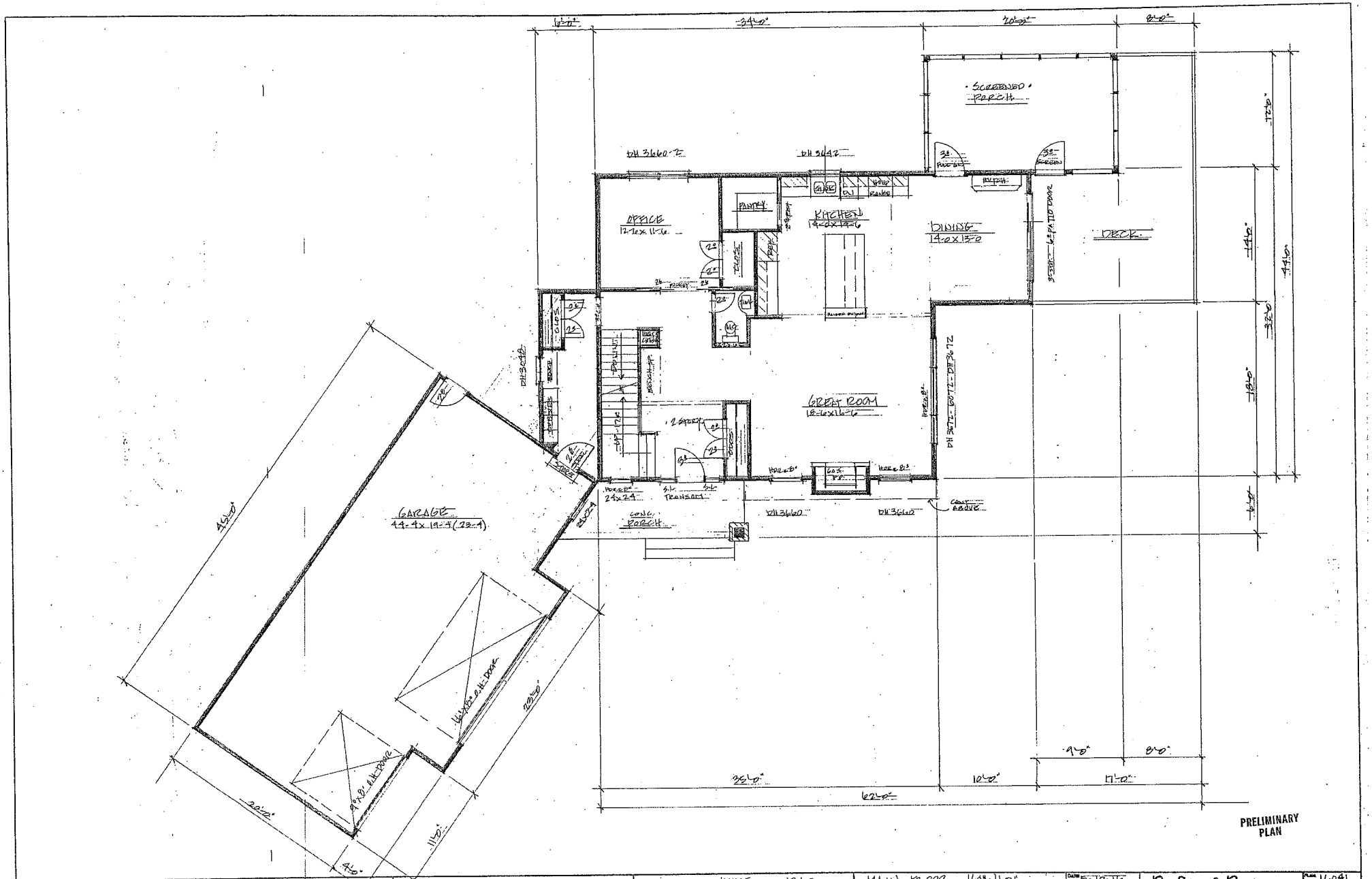
2 STORY - 3BR - 2½BA - W.O.
2660 SF.

LEE HOMES, INC.
ORCHARD RESIDENCE

DATE 5.10.16

Drafting & Design LLC
Diane Dazzo - Forest Lake, MN - (651) 464-7259

PLAN 16091
PAGE 1 of 5



EVERY EFFORT HAS BEEN MADE TO ENSURE THESE PLANS ARE ACCURATE AND COMPLETE; HOWEVER, THEY WERE PREPARED UPON REQUEST BY DRAFTSPERSONS WHO ARE NOT REGISTERED ARCHITECTS OR ENGINEERS AND NO REPRESENTATIONS ARE EXPRESSED OR IMPLIED. THEY ARE INTENDED AS A GUIDE FOR PERSONS WHO ARE KNOWLEDGEABLE ABOUT CONSTRUCTION PRACTICES. IT IS THE RESPONSIBILITY OF THE BUILDER, OWNER OR USER OF THESE PLANS TO VERIFY ALL DIMENSIONS, DETAILS, ELEVATIONS, SITE CONDITIONS, SPECIFICATIONS, AND STRUCTURAL COMPONENTS REGARDING THE APPLICATION AND INSTALLATION OF CONTRACT MATERIALS. DRAFTING & DESIGN, LLC, ASSUMES NO LIABILITY FOR ANY ERRORS, OVERSIGHTS, OR SITE DAMAGES OR HANDICAP CONSTRUCTION NOTICES. ALL WORK TO BE DONE IN COMPLIANCE WITH APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

HOUSE 1260 MUD ROOM 100 SQ.FT.	MAIN FLOOR 1/4"=1'0" 1360 SQ.FT.	DATE 5-10-16	Drafting & Design LLC Diane Dessin - Forest Lake, MN - (651) 464-7255

PLAN 16091
PAGE 3 of 5

Shoreview

Robert Warwick <rwarwick@shoreviewmn.gov>

Variance request, 400 Horseshoe Dr. East, Shoreview

Paige Ahlborg <paige.ahlborg@rwmwd.org> Mon, May 16, 2016 at 10:26 AM
To: Robert Warwick <rwarwick@shoreviewmn.gov>, "Sorensen, Jenifer (DNR)" <jenifer.sorensen@state.mn.us>

Hi Rob,

RWMWD does not regulate this type of activity. I will defer to Jen Sorensen on this one. No additional comments from us.

Paige Ahlborg
Watershed Project Manager
Ramsey-Washington Metro Watershed District
2665 Noel Drive
Little Canada, MN 55117
Office: (651)792-7964

From: Robert Warwick [mailto:rwarwick@shoreviewmn.gov]
Sent: Friday, May 13, 2016 3:52 PM
To: Sorensen, Jenifer (DNR); Paige Ahlborg
Subject: Variance request, 400 Horseshoe Dr. East, Shoreview

[Quoted text hidden]

RICHARD M HAGSTROM
376 N OWASSO BLVD
SHOREVIEW, MN 55126

Mr. Robert Warwick
Senior Planner, City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

Re: Applications for Variances at 400 East Horseshoe Drive

Dear Mr. Warwick:

Thank you for forwarding your "Public Notice" dated May 13, 2016 and for your availability on the telephone today to discuss the Application for Variances at the above-referenced property.

As I mentioned in our telephone conversation, overall this looks like a good use of a non-conforming lot. I have two comments as to items that should be addressed as pre-conditions to the variances. First, it is my understanding that the old shed, which is in very poor condition and which is approximately 50 feet from the shoreline, is within the Shoreland Impact Zone. This shed should be removed as a condition for the granting of the two variances. As I understand the DNR and local regulations, structures should not exist within the Shoreland Impact Zone or on the lake side of a home.

Second, it is unclear as to what the elevations will be with regard to the new home. The new home obviously has a larger area of impervious surface area than the current home. In this regard, the question is how water will run off from the footprint of the new building. You mentioned that the City will make sure that run off is not directed at other properties. The new "porch" and "deck" for the proposed construction is uphill from my current detached garage and will be much closer to my detached garage than the current structure. Currently, during heavy rain events, water does come down the hill to my detached garage. I would like assurance that runoff will be avoided through proper home placement and grading plans.

In short, if the water runoff issue is appropriately addressed and the old shed is removed with no replacement allowed, I have no objection to the proposed variances. Please submit this comment to the Planning Commission since I will be unable to attend the hearing on May 24.

Respectfully submitted,

Richard M Hagstrom

Richard M Hagstrom

Shoreview

Robert Warwick <rwarwick@shoreviewmn.gov>

Public Notice Response to Request for Comment 400 Horseshoe Dr E, SRV

John Vadnais <vadnaisj123@gmail.com> Thu, May 19, 2016 at 1:36 PM
To: rwarwick@shoreviewmn.gov

Rob,

This medium is being used since the deadline for submission is today May 19.

I have a comment and a request regarding the daily duration of this construction, should it begin.

Having lived at 396 Horseshoe Dr E, over the past 30 years there have been about 6 major rebuilds from complete destruction to replacement of houses that are next door to within a few houses of mine. In addition to extremely loud noises from large construction machines which is most likely unavoidable, the times that the contractors start and stop have been beyond normal quiet times so residents can't get normal sleep. They have started, many times earlier than 6 AM and worked continuing to make loud noises past 11 PM. When those excesses have occurred, I and others have called the City Engineering Depart., was told that it would stop, but almost invariably continued throughout the duration of the entire construction project.

My request is that in the morning no diesel engines or construction start until after 7 AM & must end by 6 PM seven days a week. I hope there is some process to hold the construction company accountable.

I would appreciate a response informing me and a neighbor if these times are reasonable and enforceable.

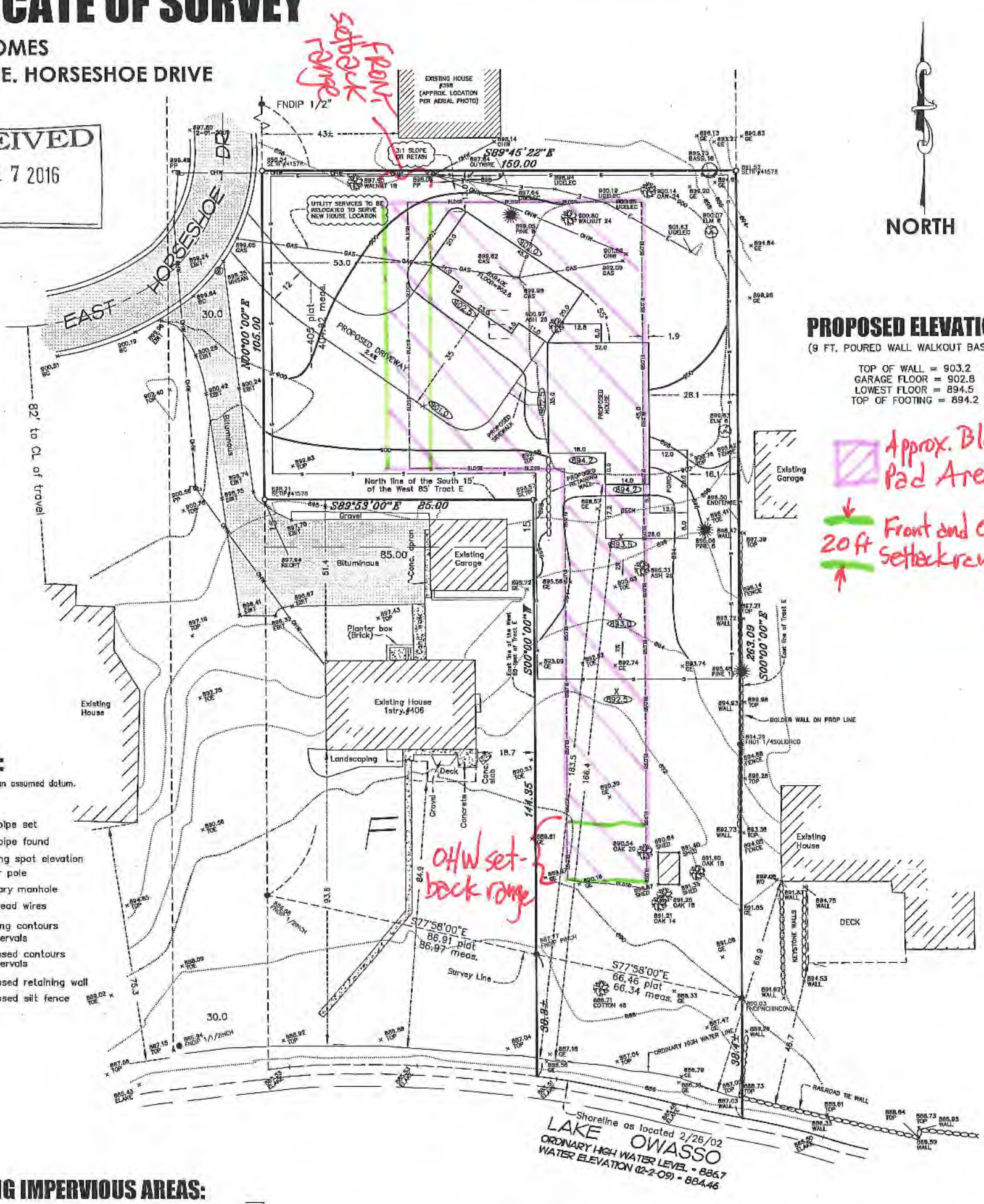
Thank you,
John Vadnais
651 587-2727

CERTIFICATE OF SURVEY

~for~ LEE HOMES

~of~ 400 E. HORSESHOE DRIVE

RECEIVED
MAY 17 2016
BY:



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GARAGE FLOOR = 902.8
LOWEST FLOOR = 894.5
TOP OF FOOTING = 894.2

Approx. Bldg. Pad Area

20 ft Front and OHW Setback ranges

LEGEND:

Note: Bearings shown are on an assumed datum. NGVD vertical datum.

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- Denotes iron pipe found
- Denotes existing spot elevation
- Denotes power pole
- Denotes sanitary manhole
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DRAWN BY: BAB	JOB NO: 16345HS	DATE: 5/3/16	
CHECK BY: JER	SCANNED ☐		
1	5/17/16	MOVE HSE 2' N. AND 1.5' W.	BAB
2			
3			
NO.	DATE	DESCRIPTION	BY

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 5/17/2016 License No. 41578

E. G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
www.egrud.com
Tel. (651) 361-8200 Fax (651) 361-8701

16345HS

MITIGATION AFFIDAVIT AND AGREEMENT

STATE OF MINNESOTA)
)SS
COUNTY OF RAMSEY)

The undersigned Affiants, for themselves, their heirs, successors and assigns hereby states, affirms and agrees:

1. Beau and Mary Orchard, hereafter referred to as the Affiants, are the record fee owners of the following described property:

   Tract E, of Registered Land Survey No. 194, except the Southerly 15 feet of the West 85 feet thereof, Ramsey County, State of Minnesota

   (This property is more commonly known as 400 Horseshoe Drive)

2. That as a condition of approval for a Residential Design Review approved by the Shoreview Planning Commission on May 24, 2016, the Affiants will use the following practices to mitigate the adverse effects land development has on water quality and the lake environment:

   a. Removal of Impervious Surface Coverage. Pursuant to Section 209.080 (M1e), existing impervious surface coverage area shall be reduced by approximately 1,170 square feet to 17.6% of the lot area above the Ordinary High Water of Lake Owasso. The impervious surface area that will be installed as a result of the approved redevelopment of the property is illustrated on a site plan located in City of Shoreview Planning File Number 2617-16-16.

b. Architectural Mass. Pursuant to Section 209.080 (M1c), the use of natural color(s) and/or materials on the exterior surface of the Affiant's dwelling shall be used to reduce the visual impact. Natural colors are shades of brown, gray, and green. Natural materials include wood or stone that complement the setting of the structure.

3. The mitigation practices identified in item #2 above be completed by May 23, 2017 unless an extension is administratively approved by the City of Shoreview. The mitigation practices shall be maintained unless said requirement is rescinded by the City of Shoreview. Said mitigation may be rescinded if a building permit is not issued for the development project said mitigation is required for.

Dated this _____ day of _____, 2016.

_____
Beau Orchard

_____
Mary Orchard

STATE OF MINNESOTA)
)SS
COUNTY OF RAMSEY)

The foregoing instrument was acknowledged before me this _____ day of _____, 2016.

_____
Notary Public

T:/pcreport/mitigation/2617-16-16 orchard migiation

EXTRACT OF MEETING MINUTES FOR THE SHOREVIEW, MINNESOTA PLANNING COMMISSION HELD MAY 24, 2016

* * * * * * * * * * * * *

Pursuant to due call and notice thereof, a meeting of the Planning Commission for the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 p.m.

The following members were present:

And the following members were absent:

Member _____ introduced the following resolution and moved its adoption.

RESOLUTION NO. 16-44 TO REDUCE THE REQUIRED SETBACK FROM THE REAR LOT LINE AND INCREASE THE MAXIMUM SETBACK FROM THE ORDINARY HIGH WATER OF LAKE OWASSO

WHEREAS, Beau and Mary Orchard have submitted a variance application for the following described property:

Tract E, of Registered Land Survey No. 194, except the Southerly 15 feet of the West 85 feet thereof, Ramsey County, State of Minnesota

(This property is more commonly known as 400 Horseshoe Drive)

WHEREAS, the Development Regulations require a maximum 77.45 ft. setback from the Ordinary High Water (OHW) of Lake Owasso, and that setback is calculated from the location of the houses on the properties at 406 Horseshoe Drive and 376 North Owasso Boulevard; and

WHEREAS, the applicants have requested a variance to this requirement increasing the OHW setback to 166.4 feet for a new house; and

WHEREAS, the Development Regulations require a minimum 30-foot setback from a rear lot line; and

WHEREAS, the applicants have requested a variance to this requirement reducing the rear setback to 16.1 feet for an enclosed porch and 28.1 feet for the main living area of the house; and

WHEREAS, the Shoreview Planning Commission is authorized by state law and the City of Shoreview Development Regulations to make final decisions on variance requests.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance request for 400 Horseshoe Drive be approved on the basis of the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.* The proposed construction of a new house and attached garage with views of the lake represents a reasonable use of residential property in this lakeshore neighborhood.

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.* Unique circumstances stem from the L-shaped configuration of the lot and that a house conforming to both the maximum front and OHW setbacks is not reasonable. The east/rear lot line functions as a side lot line for the adjacent property. These circumstances are unique to the property.

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.* The proposed setbacks meets the spirit and intent of the ordinance and will not alter the character of the neighborhood, since other nearby dwellings are located on small lots and do not conform to required setbacks.

NOW, THEREFORE, BE IT FURTHER RESOLVED BY THE SHOREVIEW PLANNNING COMMISSION that the variance requested for 400 Horseshoe Drive be approved subject to the following conditions:

1. The project must be completed in accordance with the plans submitted with the applications. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.

2. The attached garage shall not exceed 996 square feet in size.

3. The mitigation plan shall be completed within one year of this approval date. A Mitigation Affidavit shall be executed prior to the issuance of a building permit for the new home.

4. One landmark trees will be removed. Two replacement trees are required.

5. A demolition permit is required prior to removal of the existing structures. Erosion and sediment control practices shall be implemented in accordance with City Code. Tree protection measures shall be installed prior to demolition.

6. A revised grading plan shall be submitted for City approval prior to issuance of a demolition permit. The grading plan shall detail practices for managing stormwater runoff demonstrating that adjoining properties will not be affected.

7. This approval will expire after one year if a building permit has not been issued and work commenced.

The motion was duly seconded by Member _____ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 24th day of May 2016.

_____
John Doan, Chair
Shoreview Planning Commission

ATTEST:

_____
Rob Warwick
Senior Planner

SEAL

ACCEPTANCE OF CONDITIONS:

_____
Beau Orchard

_____
Mary Orchard

t:\2016 planning case files\2617-16-16 orchard resol 16-44.doc

PROPOSED MOTION
TO APPROVE

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To adopt Resolution No. 16-44, approving the variances requested by Beau and Mary Orchard for the property located at 400 Horseshoe Drive East to increase the setback from the Ordinary High Water of Lake Owasso to 166.4 feet, and to reduce the setback from the rear (east) property to 16.1 feet for an enclosed porch and 28.1 feet for the main living area. This approval is subject to the following conditions:

1. The project must be completed in accordance with the plans submitted with the applications. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. The attached garage shall not exceed 992 square feet in size.
3. The mitigation plan shall be completed within one year of this approval date. A Mitigation Affidavit shall be executed prior to the issuance of a building permit for the new home.
4. One landmark trees will be removed. Two replacement trees are required.
5. A demolition permit is required prior to removal of the existing structures. Erosion and sediment control practices shall be implemented in accordance with City Code. Tree protection measures shall be installed prior to demolition.
6. A revised grading plan shall be submitted for City approval prior to issuance of a demolition permit. The grading plan shall detail practices for managing stormwater runoff demonstrating that adjoining properties will not be affected.
7. This approval will expire after one year if a building permit has not been issued and work commenced.

This approval is based on the following findings:

1. The proposed improvements are consistent with the Housing and Land Use Chapters of the Comprehensive Plan.
2. The proposed house and attached garage represent a reasonable use of the property which is located in the R-1 Detached Residential District and Shoreland Overlay District..
3. Unique circumstances stem from the size and configuration of the property.

4. The new construction will not stand out among the existing residences in the area since they are a mix of new and older age, so the variance should not affect the essential character of the neighborhood.

VOTE: AYES: NAYES:

Regular Planning Commission Meeting
May 24, 2016

t:\2016pcf/2617-16-16 orchard 400 horseshoe/PC motion

TO: Planning Commission

FROM: Kathleen Castle, City Planner

DATE: May 20, 2016

SUBJECT: File No. 2616-16-15, Site and Building Plan Review, Laliberte – 1080 West County Road E

Introduction

Stephen Laliberte, 1080 County Road E, submitted a Site and Building Plan Review application for the expansion and remodeling of the existing commercial building on his property.

The project will be completed in four phases and includes:

1) Expansion of the main (first) floor with a 1,613 square foot show-room/retail addition on the north (front) side and a 1,299 square foot loading dock addition on the south (rear) of the building.
2) A second floor addition on the north (front) side of the building for a chair-lift and lobby area.
3) Interior remodeling of the existing retail/office and warehouse space.
4) Exterior site work including re-paving a portion of the parking lot and stormwater management.

The Site and Building Plan Review process enables the City to publically review the plans for consistency with the policies of the Comprehensive Plan and the Development Code standards and criteria.

Site Characteristics

The property has a lot area of 30,282 square feet and is located on County Road E, east of Lexington Avenue. The property is currently developed with a two story commercial building that has a foundation area of 3,804 square feet. Uses in the building include retail and office. Access to the property is from a driveway off of County Road E. The existing off-street parking area provides 40 parking stalls. This parking lot is setback 6 feet the County Road E right-of-way and is considered non-conforming since it is less than the 20-feet required. In addition, the property does not have any stormwater management facilities present.

Adjoining land uses include a retail building to the north, office to the east and south and a convenience retail/fuel station to the west. West of Lexington Avenue is the City of Arden Hills which is developed with a variety of commercial and/or business related land uses.

Comprehensive Plan

The property's designated land use in the Comprehensive Plan is commercial. The commercial designation is intended for a variety of service, office and retail uses. The

existing and proposed use of the property is consistent with the commercial land use designation. Policies in Chapter 4, Land Use and Chapter 6, Economic Development support reinvestment in commercial areas.

Development Code - Zoning

The property is zoned C2, General Commercial (Section 205.043). General commercial districts are generally found along the arterial roadways and permit commercial, office, retail and service uses for the area. The existing and proposed retail/office use of the property is consistent with this zoning district.

Site and Building Plan Review

The intent of the Site and Building Plan Review is to provide the City with the opportunity to review the proposed development plans in accordance with the Development Code via a public review process. The proposed use, building and site improvements are consistent with the C1 zoning district requirements. The following addresses the primary plan elements:

Site Plan

The proposal is to expand and remodel this building to better meet the needs of the tenants. The project is divided into four phases which will be completed consecutively. The expansion of the building with the two additions located on the north and south sides will increase the foundation area to 6,716 sf. A second floor addition of 182 square feet is also proposed to accommodate a chair lift and lobby area. The proposed additions comply with the minimum structure setbacks required from the property lines as shown in the following table:

Property Line	Minimum Structure Setback Required	Proposed Structure Setback
Front	50 feet	61.2 feet
Side	10 feet	East – 15 feet West – 51 feet
Rear	20 feet	20 feet

Architectural Design

The exterior of the proposed additions will blend in with the existing building materials. The materials include a variegated brick and vertical windows. Thermally treated wood will be used and is intended to compliment the colors found in the brick. The entryway will be enhanced with a canopy over double front doors. Accent materials include the use of metal panels and fascia that will have a prismatic purple color. The design complies with the City's architectural design standards (Section 206.050).

Parking

The parking lot will be reconfigured for the site development. A portion of the parking area in front of the building will be replaced and will not encroach any closer to the street right-of way than the existing parking lot which is setback 6-feet. The off-street parking lot provides 41 parking stalls which is the minimum required (Section 206.020) by the Development Code.

Stormwater Management

The property is located in the Rice Creek Watershed District and does not require a permit from the District. Impervious surface coverage for the site is being reduced from 79.7% to 73.9% and complies with the maximum 75% permitted for the C2 district (205.043 (D4)). The site does not contain any stormwater infrastructure nor is their public infrastructure available in County Road E. Stormwater will direct to a swale and small depressions located along the east property to better manage stormwater runoff from the property. Stormwater runoff from the site flows north towards County Road E.

Landscaping

Existing trees located along the western property line will remain. Additional plantings will be installed along the east and south property lines. While there is limited space along the northern boundary of the parking lot, adjacent to County Road E, the staff is recommending the applicant explore options to provide some landscaping that will screen the parking area without impeding traffic visibility (Section 206.010 (G-J), Section 206.020 (A1)). Ramsey County will permit low growing

Public Comment and Agency Review

The City notified property owners within 350 feet of the development. The Rice Creek Watershed District indicated that a watershed permit is not required. Ramsey County staff also provided comments. Any work in the County Road E right-of-way will require a permit. Two comments have also been received from nearby property owners who expressed support of the project.

Recommendation

The submitted plans were reviewed in accordance with the approved the City's development standards and land use policies for this site. The proposed expansion of the commercial building is consistent with the C2 zoning and the Comprehensive Plan. Staff is recommending the Planning Commission recommend the City Council approve the Site and Building Plan Review, subject to the following conditions:

Site and Building Plan Review

1. This approval permits the development of the expansion of the commercial building as identified in the approved plans.
2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
4. The items identified in the memo from the City Engineer must be addressed prior to the issuance of a building permit.
5. The applicant shall explore options for landscape screening along the north side of the parking lot.
6. Prior to the installation of any signs, a sign permit is required by the City. A free-standing sign must be setback a minimum of 5-feet from the road easement.

7. A permit from Ramsey County must be received for any work in the County Road E right-of-way.
8. The trash/recycling receptacle shall be contained in an enclosure that is designed with building materials that compliment the building.
9. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

Attachments:
1. Memo dated May 13, 2016 – City Engineer
2. Location Map
3. Applicant's Statement and Submitted Plans
4. Comments Received
5. Motion Sheet

T:\2016 Planning Cases Files\2616-16-15 1080 County Rd E –Laliberte\PC Report Final Laliberte

Date: May 13, 2016

To: Kathleen Castle, City Planner

From: Tom Wesolowski, City Engineer

Subject: Site & Building Plan Review Application
Odds & Ends Again Building – 1080 County Road E

The City of Shoreview Engineering staff has reviewed the preliminary plan submittal for the Odds & Ends Again building dated April 22, 2016. The Engineering staff has the following comments regarding the proposed development:

1. The proposed project is located within the Rice Creek Watershed District (RCWD). The developer contacted the RCWD and due to the size and nature of the project a permit is not required by the watershed.

2. Due to the nature of the project, the City does not require any stormwater improvements on the site. As part of the improvements, the developer is proposing to install depressions on the east side of the building to help retain roof runoff. If the soils are not adequate for infiltration, plants suitable for a rain garden will be installed in the depressions.

3. An erosion control cash deposit will be required for the development.

4. The development plans will be presented to the Environmental Quality Committee for comment at their May 23rd meeting.

5. The proposed replacement tree species selection of Colorado Blue Spruce is a tree species highly susceptible to the tree disease Rhizosphaera needle cast, which is prevalent in Shoreview. More information about this disease can be found here: http://www.extension.umn.edu/garden/yard-garden/trees-shrubs/spruce-tree-diseases/rhizosphaera-needle-cast/
Staff suggest the landscape plan consider alternative tree species instead of non-native Colorado Blue Spruce. Such options can be found here: http://www.extension.umn.edu/garden/yard-garden/trees-shrubs/recommended-trees-for-minnesota/southeast/

MapRamsey

1080 County Road E - Liberty Holdings

200.0 0 100.00 200.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

Notes

Site and Building Plan Review

hw² design + architecture, llc
www.hw2design.com 612.532.4147
3904 39th Ave. S., Minneapolis, MN 55406

April 22, 2016

TO: Department of Community Development
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

Re: 1080 County Road E Building addition and remodel.

Dear Community Development Team,

The current owners of the 1080 County Road E property are excited to update their building and gain additional square footage for their growing business. This project will be broken into 4 phases that will follow each other consecutively.

Phase 1: A proposed addition of 1,613 square feet to the north (front) of the building that will house additional retail space for the Odds & Ends Again store. It will be a one story addition that will be clad in a brick mix very similar to the variegated brick mix on the existing two story building, with a small portion as two story to house a new wheel chair lift and second story lobby. The windows to the east and west will mimic the thin vertical windows on the existing building. The front (north) face will have larger punched window openings in a thermally treated wood rain screen. The wood will be dark brown playing off of the darker colors in the brick mix. There will be one main covered canopy at the double front doors. The two windows flanking the main entrance door will have open C-channel canopies. The owner would like to incorporate their branding in with the exterior finishes, and are looking at using a purple color on all the metal elements. The interior of the new addition will be open show room floor and a new entrance vestibule that will house a lift to make the second story office space wheel chair accessible. The lift tower will be clad in metal panel, in their branded purple color, and will also house the main building signage. The second story lobby space will repeat the wood and punch windows as used on the lower level.

Phase 2: The existing first floor functions will move into the new addition and then selective remodeling will be done throughout, including opening up the two foot wide window openings on the north to four feet to connect the retail spaces and removal of some interior partitions to create larger rooms on the show room floor. The office space will become more self-contained with its own kitchenette and storage area. The point of sales will be moved up to be centrally located on the east side of the show room floor. The bathrooms will be demolished and updated to meet accessibility standards. The back south east corner will have a double door connection to the new warehouse space

in back. This rear access to the loading area will remove the need to move large pieces of furniture through the front door. The HVAC system will be updated to create a more efficient system.

Phase 3: A proposed one story addition of 1,299 square feet to the south (back) of the building will be the new unloading area for the company's vehicles and loading area for larger furniture that is purchased. It will have two garage doors facing to the west. It will be clad in brick to match the existing building and have a few clerestory windows for natural daylighting into the space. It will also allow for additional storage while products are being inventoried to help keep the retail portion uncluttered.

Phase 4: The existing second story office space interior partitions will be removed and the office will have a new layout and improved HVAC system. The north (front) windows will also be increased to four feet like below to allow for more daylight into the space. The lift tower and lobby will be at the center of the north façade creating a larger stair and lift lobby area.

Exterior work: The existing exterior fascia and coping will be replaced to match the lift tower metal panel. The existing parking lot was resurfaced a year ago, so the goal is to limit the amount of rework to the lot. There will be a slight reconfiguration to the striping and some minor resurfacing due to construction and new water main. A portion of the parking surface in the south east corner will be turned back into pervious surface (turf) along with the a larger green space between the parking lot and building to bring the site back into compliance for impervious surface area. Plantings around the existing site have been added to bring the site in more compliance with the city parking screening requirements. The site does not have any storm water management and the city does not have any storm water management system in place for the site to connect to. Two depressions will be located on the east side of the building to help retain roof runoff. Pending the soils report, the depressions will be grass, if the soils reports shows that there is clay present, then the depressions will be modified with plants suitable for a rainwater garden application. The building water service will need to be increased due to the cities requirement for a fire suppression system to be installed throughout the entire building during the appropriate phase. Also the existing pylon sign which was on the site when the current owners purchased the building will be moved 1'-6" into the property to make it conforming.

If you should have any additional questions regarding the proposed work please feel free to contact me.

Sincerely,

Andrea Hammel Wollak

Andrea Hammel Wollak, AIA, LEED BD+C
Principal
Hw² design + architecture, llc

LIBERITY HOLDINGS, LLC - ODDS & ENDS AGAIN REMODEL

1080 WEST COUNTY ROAD E, SHOREVIEW, MN 55126

OWNERS:
LIBERTY HOLDS, LLC
STEPHEN & JODI LALIBERTE
1080 WEST COUNTY ROAD E
SHOREVIEW, MN 55126
D: 651.717.4326
E:SLALIBERTE@SORTTOSSPACK.COM

STRUCTURAL:
BUNKERS & ASSOCIATES LLC
ERIC BUNKERS
6687 FOREST STREET
FARMINGTON, MN 55024
T: 651.366.2853
E: ERICB@BUNKERSANDASSOCIATES.COM

CONTRACTOR:
X
X
X
X, MN X
T: X
E: X

MECHANICAL:
X
X
X
X, MN X
T: X
E: X

TECHNOLOGY:
X
X
X
X, MN X
T: X
E: X

ARCHITECT:
HW² DESIGN + ARCHITECTURE, LLC
ANDREA HAMMEL WOLLAK
3904 39TH AVENUE SOUTH
MINNEAPOLIS, MN 55406
C: 612.532.4147
E: AHWOLLAK@HW2DESIGN.COM

CIVIL ENGINEER:
LARSON ENGINEERING, INC.
MATT WOODRUFF, P.E.
3524 LABORE ROAD
WHITE BEAR LAKE, MN 55110
D: 651.255.0329
E: MWOODRUFF@LARSONENGR.COM

ELECTRICAL:
X
X
X
X
D: X
E: X

PLUMBING:
X
X
X
X
D: X
E: X

X:
X
X
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D: X
E: X

SHOREVIEW ZONING

ZONING: C2 - GENERAL COMMERCIAL

EXISTING BUILDING: 3,804 SF PER FLOOR = 7,608 SF GROSS
NORTH ADDITION: 1,613 SF FIRST FLOOR + 182 SF SECOND FLOOR = 1,795 SF GROSS
SOUTH ADDITION: 1,299 SF FIRST FLOOR = 1,200 SF GROSS

SECTION 205.043 GENERAL COMMERCIAL DISTRICT C2
MINIMUM BUILDING SETBACKS: FRONT 50'-0"
SIDES 10'-0"
REAR 20'-0"

SECTION 206.02 PARKING
MINIMUM PARKING SETBACKS: FRONT 20'-0"
SIDES 5'-0"
REAR 5'-0"

PARKING STALL 9'-0" X 18'-0" STANDARD
8'-0" X 18'-0" COMPACT - 20% MAX.

PARKING RATIOS OFFICE: 5 SPACES PER 1,000 SF NET = 19 SPACES
RETAIL: 5.5 SPACES PER 1,000 SF NET = 19 SPACES
WAREHOUSE: 1 SPACE PER 2,000 SF NET = 1 SPACE
COMMERCIAL VEHICLES: 2 VEHICLES = 2 SPACES
TOTAL: 41 SPACES REQUIRED

RICE CREEK WATERSHED DISTRICT: LESS THAN 10,000 SF OF DISRUPTED LAND AND NO WETLAND IMPACTS OR FLOODPLAIN FILL IS PROPOSED, THEREFORE NO RICE CREEK WATERSHED DISTRICT PERMIT IS REQUIRED.

MAP

DRAWING INDEX

SHEET #	SHEET NAME	04.22.2016 - PLAN REVIEW
ARCHITECTURE		
A00.00	COVER SHEET	•
A00.01	GENERAL INFORMATION	
A00.03	MATERIAL ID	
A10.01	LIFE SAFETY PLAN	
A20.00	SITE PLAN	•
A20.01	SIGNAGE PLAN	•
AD30.01	DEMOLITION PLANS	
A30.00	FOUNDATION PLAN	
A30.01	FIRST FLOOR	
A30.02	SECOND FLOOR	
A30.03	ROOF PLAN	
A30.10	ENLARGED PLANS	
A40.00	EXTERIOR ELEVATIONS	•
A50.00	BUILDING SECTIONS	
A50.01	BUILDING SECTIONS	
A50.10	WALL SECTIONS	
A50.11	WALL SECTIONS	
A60.00	EXTERIOR DETAILS	
A60.01	EXTERIOR DETAILS	
A60.02	EXTERIOR DETAILS	
A70.00	INTERIOR ELEVATIONS	
A90.00	PERSPECTIVES	•
CIVIL		
C1.0	DEMOLITION PLAN	•
C2.0	PAVING, DIMENSION, AND LANDSCAPE PLAN	•
C3.0	GRADING AND EROSION CONTROL PLAN	•
C4.0	UTILITY PLAN	•
C5.0	DETIALS	•

NOT FOR CONSTRUCTION

hw² design
3904 39th Ave South
Minneapolis, MN 55406
t.612.532.4147

ODDS & ENDS AGAIN

1080 WEST COUNTY RD E
SHOREVIEW, MN 55126

NO.	ISSUE	DATE

Sheet Information

Date	
Job Number	15.020.1214
Drawn	Author
Checked	Checker
Approved	Approver

Title

COVER SHEET

Sheet

A00.00

4/22/2016 11:36:24 AM
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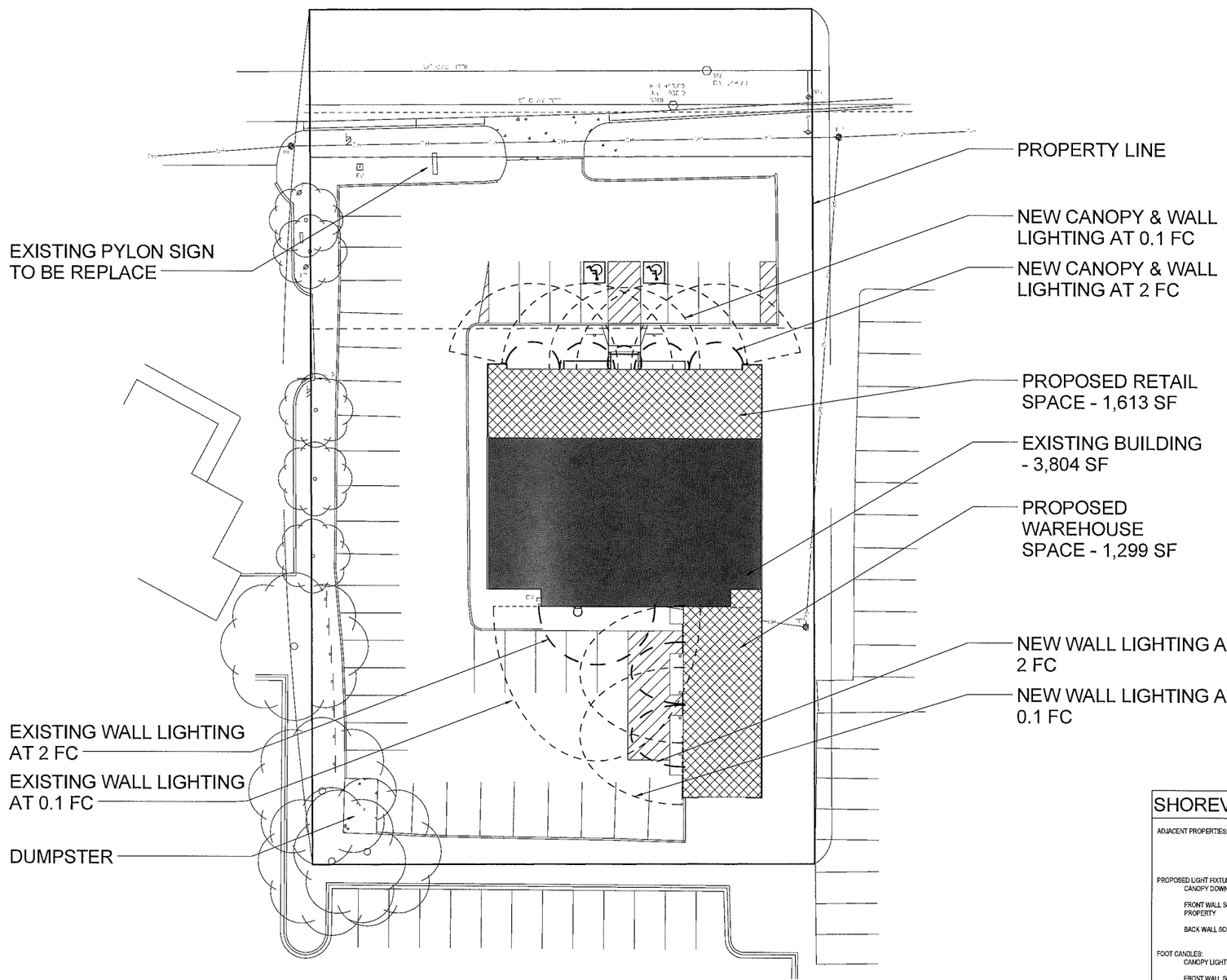


A5 SITE PLAN
1/16" = 1'-0"

SHOREVIEW LIGHTING STANDARDS

ADJACENT PROPERTIES:
NORTH: COUNTY ROAD E
SOUTH: OFC - OFFICE (OFFICE BUILDING)
EAST: PUD - PLANNED URBAN DEVELOPMENT (AUTOMOTIVE BODYWORK & GLASS)
WEST: C2 - GENERAL COMMERCIAL (GAS STATION)

PROPOSED LIGHT FIXTURES:
CANOPY DOWN LIGHT: PER PLAN DOES NOT HAVE LIGHT BLEED OFF PROPERTY

FRONT WALL SCONCE: FULL CUTOFF DOWN LIGHT. PER PLAN DOES NOT HAVE LIGHT BLEED OFF PROPERTY

BACK WALL SCONCES: PER PLAN DOES NOT HAVE LIGHT BLEED OFF PROPERTY

FOOT CANDLES:
CANOPY LIGHT: MAX FOOT CANDLES AT DIRECT POINT UNDER FIXTURE 3.83 FC

FRONT WALL SCONCE: MAX FOOT CANDLES AT DIRECT POINT UNDER FIXTURE 4.65 FC

BACK WALL SCONCE: MAX FOOT CANDLES AT DIRECT POINT UNDER FIXTURE 2 FC

NOT FOR CONSTRUCTION

hW design
3904 39th Ave South
Minneapolis, MN 55406
t 612.532.4147

ODDS & ENDS AGAIN

1080 WEST COUNTY RD E
SHOREVIEW, MN 55126

NO	ISSUE	DATE

Sheet Information

Date	
Job Number	15.020.1214
Drawn	AHW
Checked	HW²
Approved	AHW

Title
SITE PLAN

Sheet
A20.00

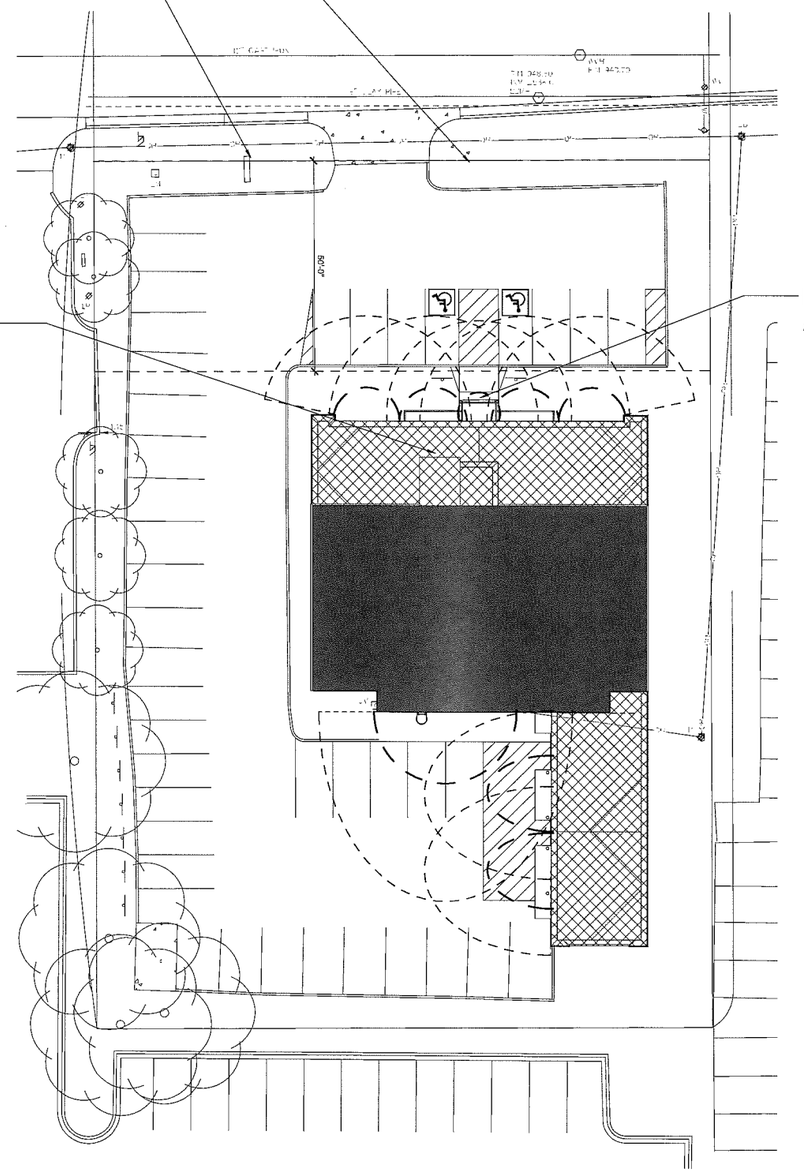
4/22/2016 11:35:24 AM
C:\Users\Andrea\Documents\1080 SHOREVIEW_Andrea.rvt

PROPOSED NEW MONUMENT SIGN

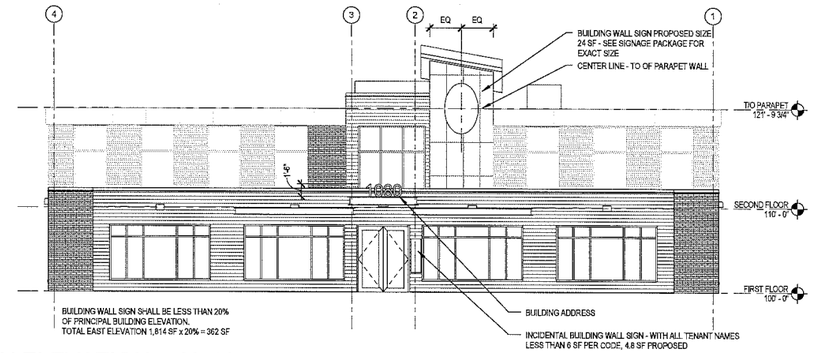
EXISTING PYLON SIGN TO BE REMOVED

WALL SIGN

BUILDING NUMBER ATTACHED TO CANOPY TOP



A5 SITE SIGNAGE PLAN
1/16" = 1'-0"



D3 NORTH ELEVATION - SIGNAGE
1/8" = 1'-0"

NOT FOR CONSTRUCTION

hW design
3904 39th Ave South
Minneapolis, MN 55406
t 612.532.4147

ODDS & ENDS AGAIN

1080 WEST COUNTY RD E
SHOREVIEW, MN 55126

NO	ISSUE	DATE

Sheet Information

Date	
Job Number	15.020.1214
Drawn	Author
Checked	Checker
Approved	Approver

Title

SIGNAGE PLAN

Sheet

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4/22/2016 11:36:29 AM
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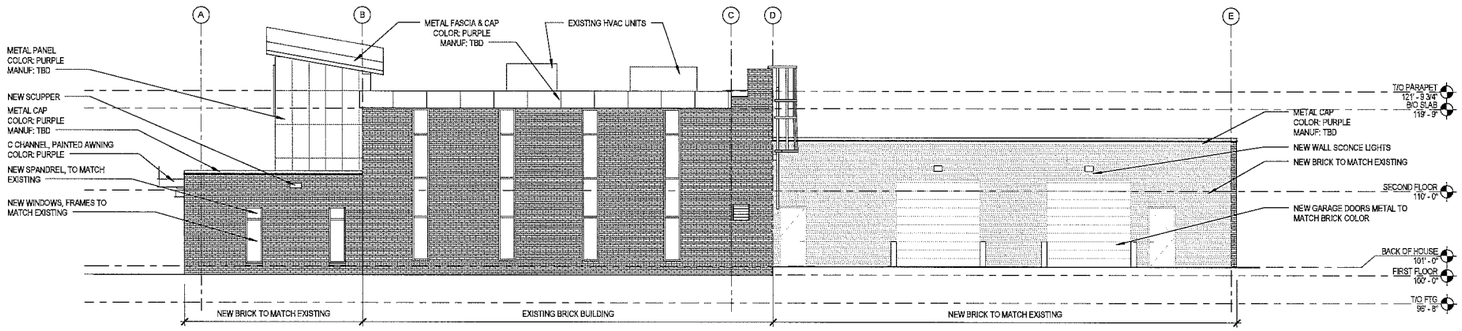
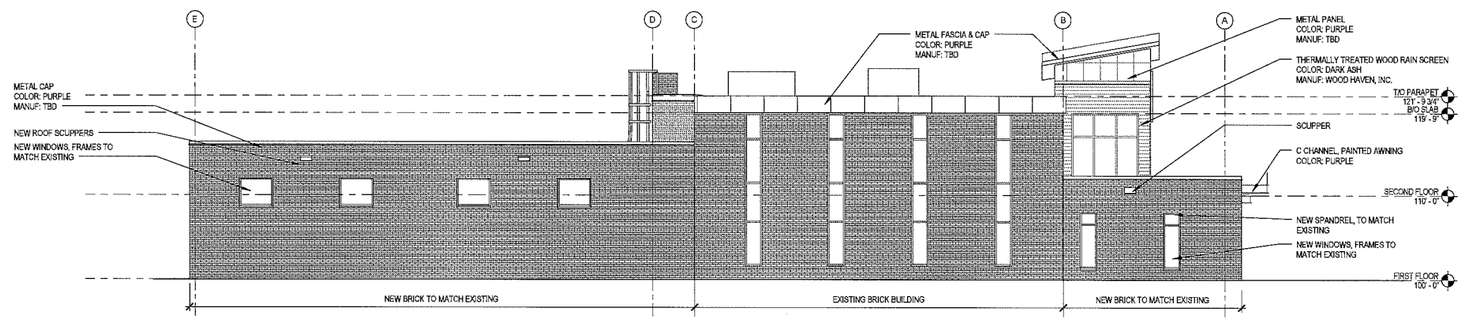
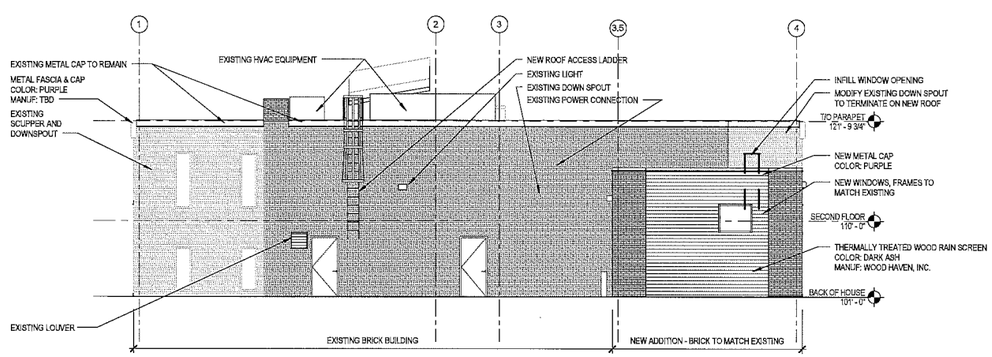


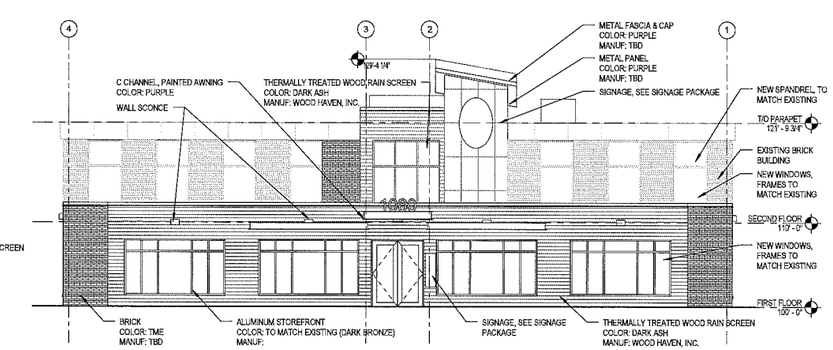
C5 WEST ELEVATION
1/8" = 1'-0"



B5 EAST ELEVATION
1/8" = 1'-0"



A5 SOUTH ELELATION
1/8" = 1'-0"



A3 NORTH ELEVATION
1/8" = 1'-0"

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Approved	Approver

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EXTERIOR ELEVATIONS

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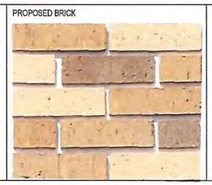
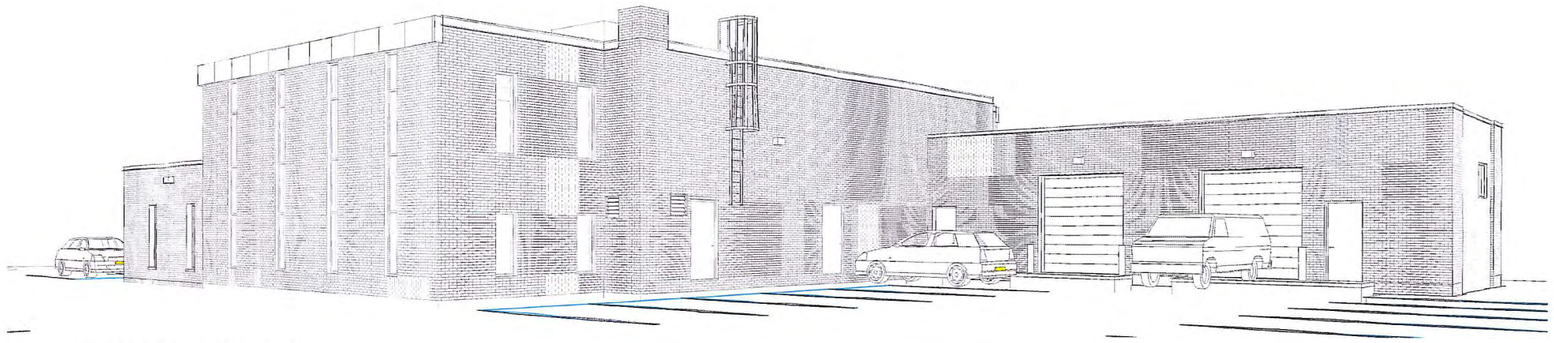
B5 NORTH WEST CORNER PERSPECTIVE

PROPOSED MATERIALS

EXISTING BRICK	PROPOSED BRICK	PROPOSED WOOD RAIN SCREEN	PROPOSED METAL PANEL - PRISMATIC COLOR	PROPOSED WALL SIGNAGE ON TOWER
				Odds & Ends Again



A5 SOUTH WEST PERSEPCTIVE

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PERSPECTIVES

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www.kempersurveys.com

1080 WEST COUNTY ROAD E

CITY OF SHOREVIEW, RAMSEY COUNTY, MINNESOTA

SECTION 35, T30N, R23W

VICINITY MAP
(NO SCALE)

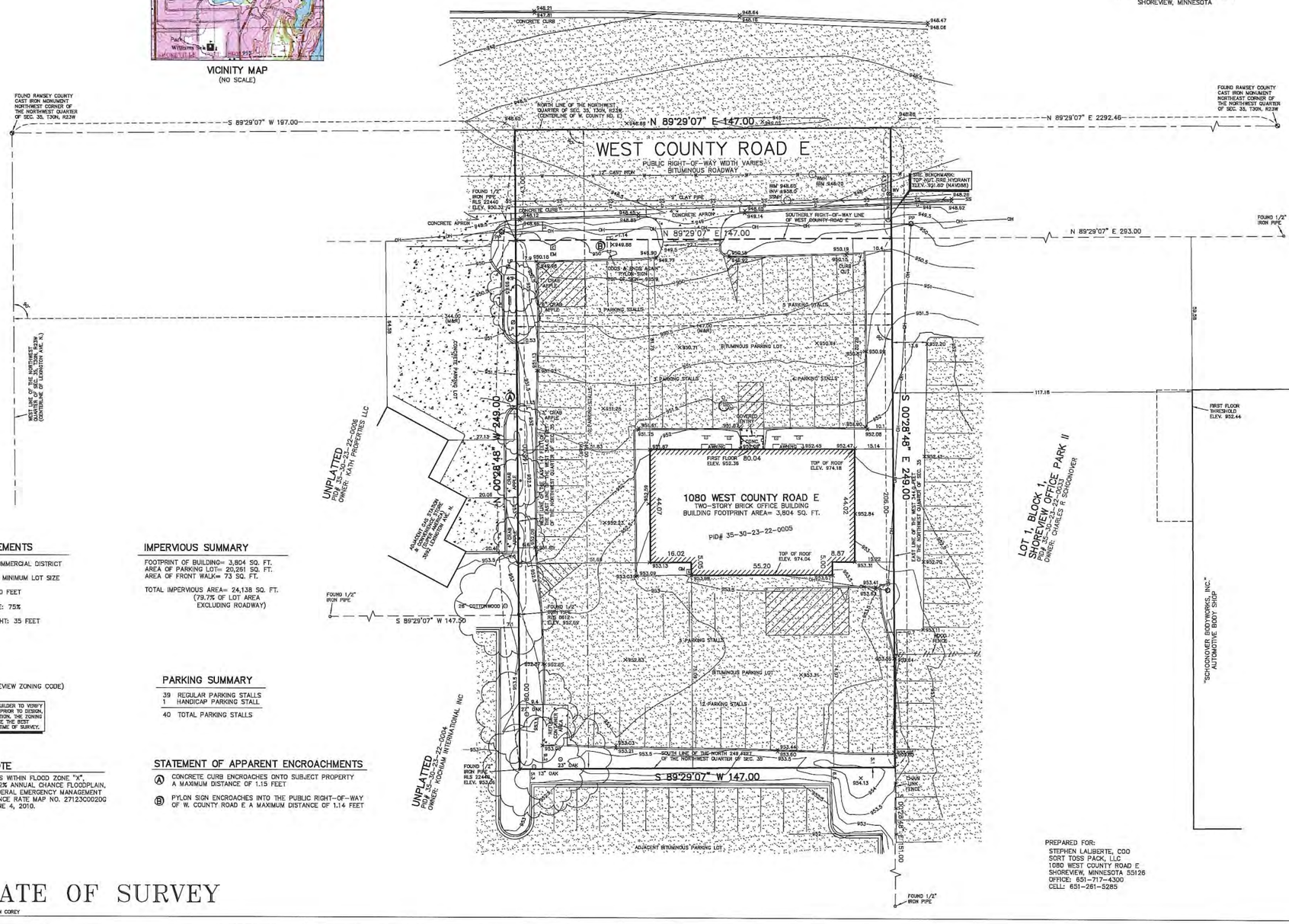
1080 WEST COUNTY ROAD E (FRONT)
SHOREVIEW, MINNESOTA

0 10 20
1 INCH EQUALS 20 FEET

BASIS FOR BEARINGS:
RAMSEY COUNTY
COORDINATE SYSTEM
NAD83 (1996 ADJ.)
(AS PER REAL-TIME GPS
MEASUREMENTS UTILIZING
MINNESOTA DEPARTMENT
OF TRANSPORTATION VRS
REAL-TIME GPS NETWORK)

BASIS FOR ELEVATION:
MINNESOTA DEPARTMENT OF
TRANSPORTATION STATION
"NEW" (GS014 191275) AT
INTERSTATE 35W MILEPOINT
28.5, 41.4 FEET WEST OF
SOUTHBOUND LANES.
ELEV. 882.734 (NAVD88)

CONTOUR INTERVAL=½ FOOT



1080 WEST COUNTY ROAD E (REAR)
SHOREVIEW, MINNESOTA

LOT AREA SUMMARY

ENTIRE SUBJECT PROPERTY = 36,603 SQ. FT. OR 0.8403 ACRES

LESS ROADWAY EASEMENT = -6,321 SQ. FT. OR -0.1451 ACRES

REMAINING LOT AREA = 30,282 SQ. FT. OR 0.6952 ACRES

LEGAL DESCRIPTION

WARRANTY DEED DOC. NO. 3960112

The East 147 feet of the West 344 feet of the North 249 feet of the Northwest Quarter of Section 35, Township 30, Range 23, Ramsey County, Minnesota

ZONING REQUIREMENTS

ZONED C2: GENERAL COMMERCIAL DISTRICT

MINIMUM LOT AREA: NO MINIMUM LOT SIZE

MINIMUM LOT WIDTH: 100 FEET

MAXIMUM LOT COVERAGE: 75%

MAXIMUM BUILDING HEIGHT: 35 FEET

BUILDING SETBACKS:
FRONT: 50 FEET
SIDE: 10 FEET
REAR: 20 FEET

(AS PER CITY OF SHOREVIEW ZONING CODE)

OWNER, ARCHITECT AND BUILDER TO VERIFY ALL ZONING INFORMATION PRIOR TO DESIGN, DEMOLITION OR CONSTRUCTION. THE ZONING AND SETBACKS SHOWN ARE THE BEST AVAILABLE DATA AT THE TIME OF SURVEY.

IMPERVIOUS SUMMARY

FOOTPRINT OF BUILDING= 3,804 SQ. FT.
AREA OF PARKING LOT= 20,261 SQ. FT.
AREA OF FRONT WALK= 73 SQ. FT.

TOTAL IMPERVIOUS AREA= 24,138 SQ. FT.
(79.7% OF LOT AREA
EXCLUDING ROADWAY)

PARKING SUMMARY

39	REGULAR PARKING STALLS
1	HANDICAP PARKING STALL
40	TOTAL PARKING STALLS

LEGEND

—953—	EXISTING CONTOUR LINE
X953.33	EXISTING SPOT ELEVATION
SSMH	SANITARY SEWER MANHOLE
WMH	WATER MANHOLE
FH	FIRE HYDRANT
WV	WATER VALVE
LP	LIGHT POLE
PP	POWER POLE
EM	ELECTRIC METER
GM	GAS METER
—SS—	SANITARY SEWER LINE
—OH—	OVERHEAD UTILITY LINE
—W—	WATER MAIN OR SERVICE
—G—	GAS MAIN OR SERVICE
	SIGN
(M)	DENOTES DIMENSION MEASURED DURING THE COURSE OF THIS SURVEY
(R)	DENOTES RECORD DIMENSION AS PER PLAT OR LEGAL DESCRIPTION
•	DENOTES SET SURVEY MONUMENT MARKED "KEMPER 18407"

FLOOD ZONE NOTE

SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X", AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 27123C0020G EFFECTIVE DATE OF JUNE 4, 2010.

STATEMENT OF APPARENT ENCROACHMENTS

(A) CONCRETE CURB ENCROACHES ONTO SUBJECT PROPERTY A MAXIMUM DISTANCE OF 1.15 FEET

(B) PYLON SIGN ENCROACHES INTO THE PUBLIC RIGHT-OF-WAY OF W. COUNTY ROAD E A MAXIMUM DISTANCE OF 1.14 FEET

PREPARED FOR:
STEPHEN LAUBERTE, COO
SORT TOSS PACK, LLC
1080 WEST COUNTY ROAD E
SHOREVIEW, MINNESOTA 55126
OFFICE: 651-717-4300
CELL: 651-261-5285

STATE OF MINNESOTA
PROFESSIONAL LAND SURVEYOR
52585
DANIEL F. COREY

CERTIFICATION
I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Daniel Corey
DANIEL F. COREY, PLS 52585

DATED THIS 13TH DAY OF JANUARY, 2016

CERTIFICATE OF SURVEY

16009 (16009.DWG) D.B. DAN COREY

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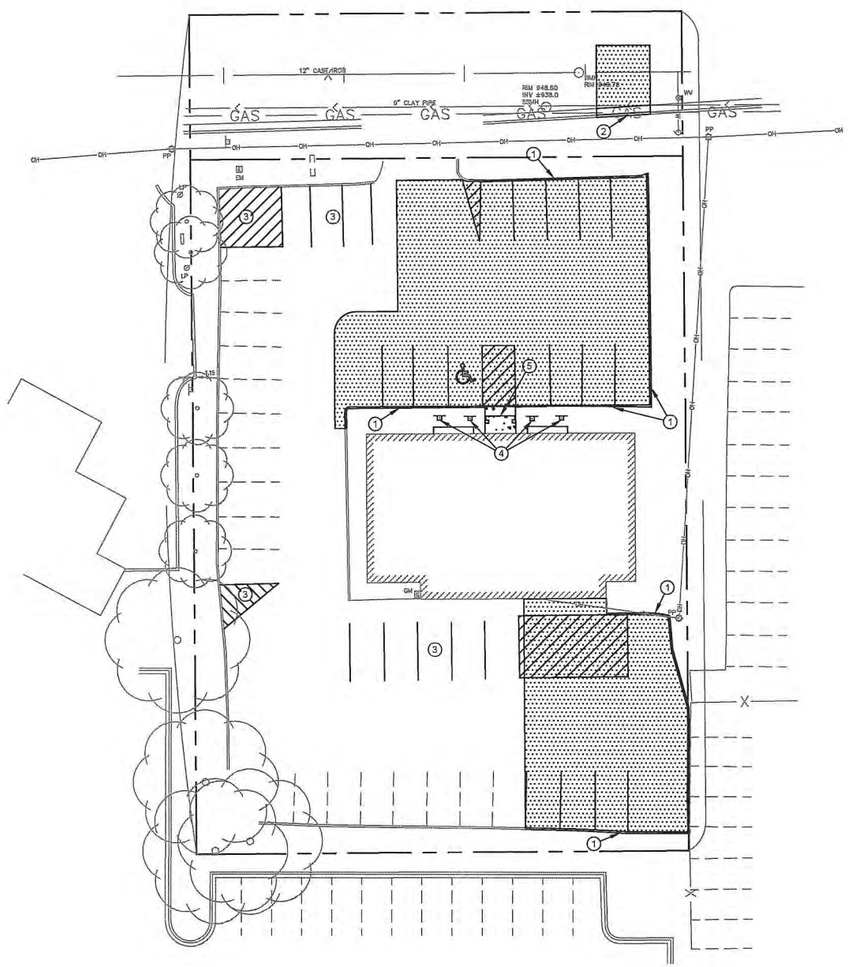

SYMBOL LEGEND

REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION

REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

KEY NOTES

1. REMOVE AND DISPOSE OF EXISTING BITUMINOUS CURB AND GUTTER.
2. REMOVE AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
3. REMOVE EXISTING STRIPING.
4. REMOVE AND SALVAGE EXISTING SIGNS.
5. REMOVE EXISTING ENTRY STOOP AND CANOPY. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State Onecall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

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DEMOLITION PLAN

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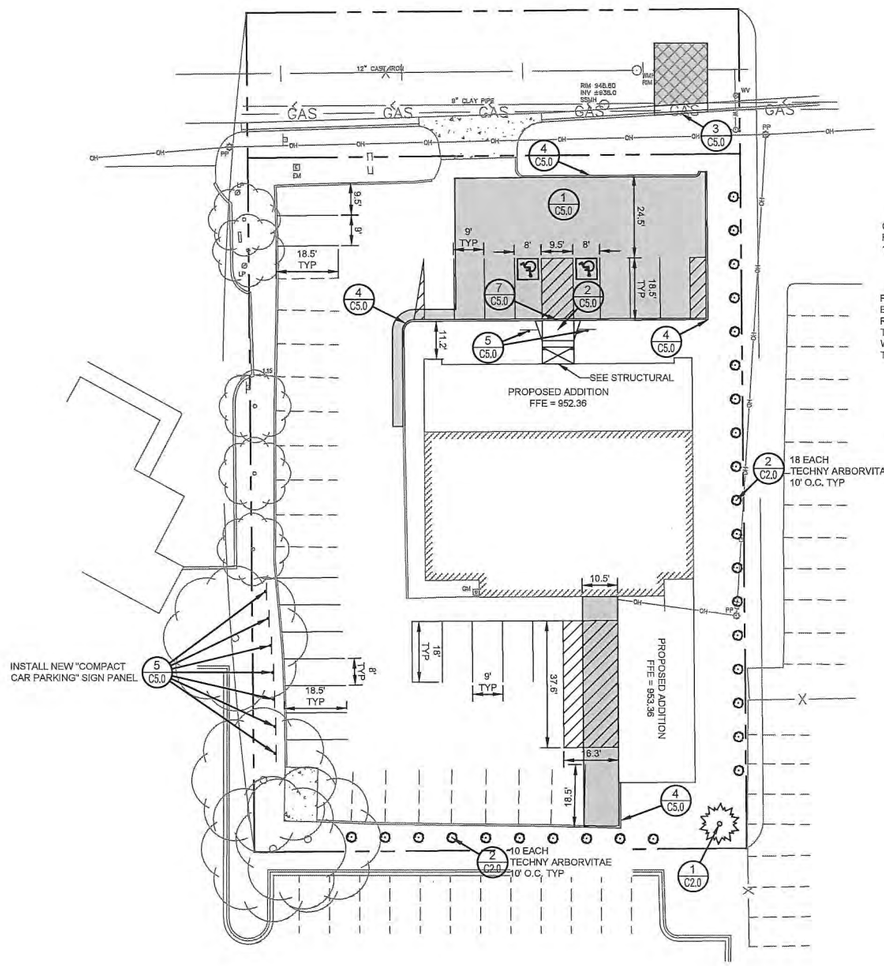
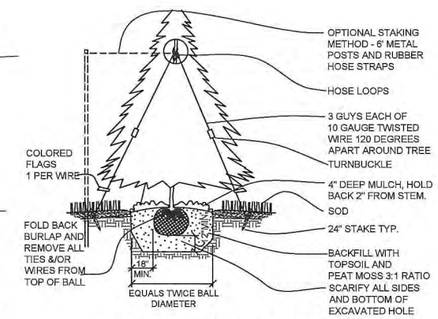
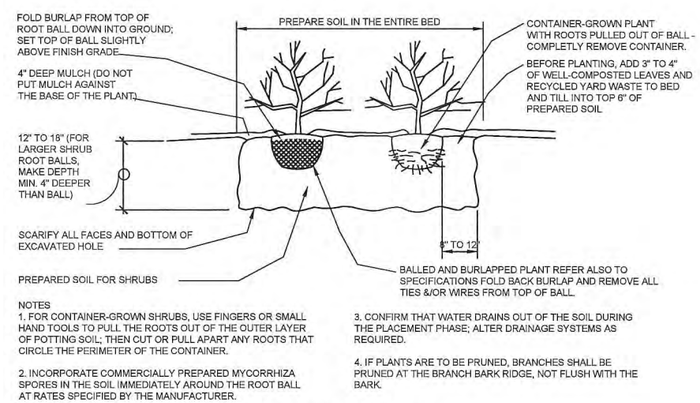




COLORADO BLUE SPRUCE PLANTING DETAIL

1 / C2.0

NO SCALE



NOTES

1. FOR CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS THAT CIRCLE THE PERIMETER OF THE CONTAINER.

2. INCORPORATE COMMERCIALLY PREPARED MYCORRHIZA SPORES IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATES SPECIFIED BY THE MANUFACTURER.

3. CONFIRM THAT WATER DRAINS OUT OF THE SOIL DURING THE PLACEMENT PHASE; ALTER DRAINAGE SYSTEMS AS REQUIRED.

4. IF PLANTS ARE TO BE PRUNED, BRANCHES SHALL BE PRUNED AT THE BRANCH BARK RIDGE, NOT FLUSH WITH THE BARK.

TECHNY ARBORVITAE SHRUB PLANTING

2 / C2.0

NOT TO SCALE

SYMBOL LEGEND

- NEW 3" BITUMINOUS PAVEMENT OVER 8" AGGREGATE BASE SEE DETAIL 1/C5.0
- NEW 4" CONCRETE PAVEMENT OVER 6" AGGREGATE BASE SEE DETAIL 2/C5.0
- REPLACE COUNTY ROAD E PAVEMENT SECTION TO MATCH EXISTING.

WHERE APPLICABLE, DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB OR BACK OF CURB TO END OF STALL LINE.

AREA CALCULATION

TOTAL LOT AREA	=	30,282 SF
TOTAL IMPERVIOUS AREA	=	22,388 SF (73.93%)

LANDSCAPING NOTES

1) PLANTING AREAS SHALL BE EDGED WITH 6" BLACK VINYL EDGING AND HAVE 4-6" DEEP LANDSCAPING ROCK OVER A WEED BARRIER FABRIC. LANDSCAPING ROCK SHALL BE 1.5" AND SHALL MATCH THE TYPE AND COLOR OF EXISTING LANDSCAPING ROCK ON THE PROPERTY.

2) ALL TREES NOT PLANTED IN LANDSCAPED AREAS SHALL HAVE SHREDDED HARDWOOD MULCH PLACED AROUND THE TREE AT 4' DIAMETER AND 6" DEEP.

3) IN LOCATIONS WHERE VEGETATED SLOPES ARE GREATER THAN 3:1 (RUN:RISE), BEHIND CURB CUTS AND IN SWALES; PIN THE PROPOSED SOD AS TO MINIMIZE THE OPPORTUNITY FOR WASH AWAY.

4) ALL TECHNY ARBORVITAE TO BE A MINIMUM OF 2.5' TALL.

5) COLORADO BLUE SPRUCE TO BE A MINIMUM OF 6' TALL.

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PAVING, DIMENSION, AND LANDSCAPE PLAN

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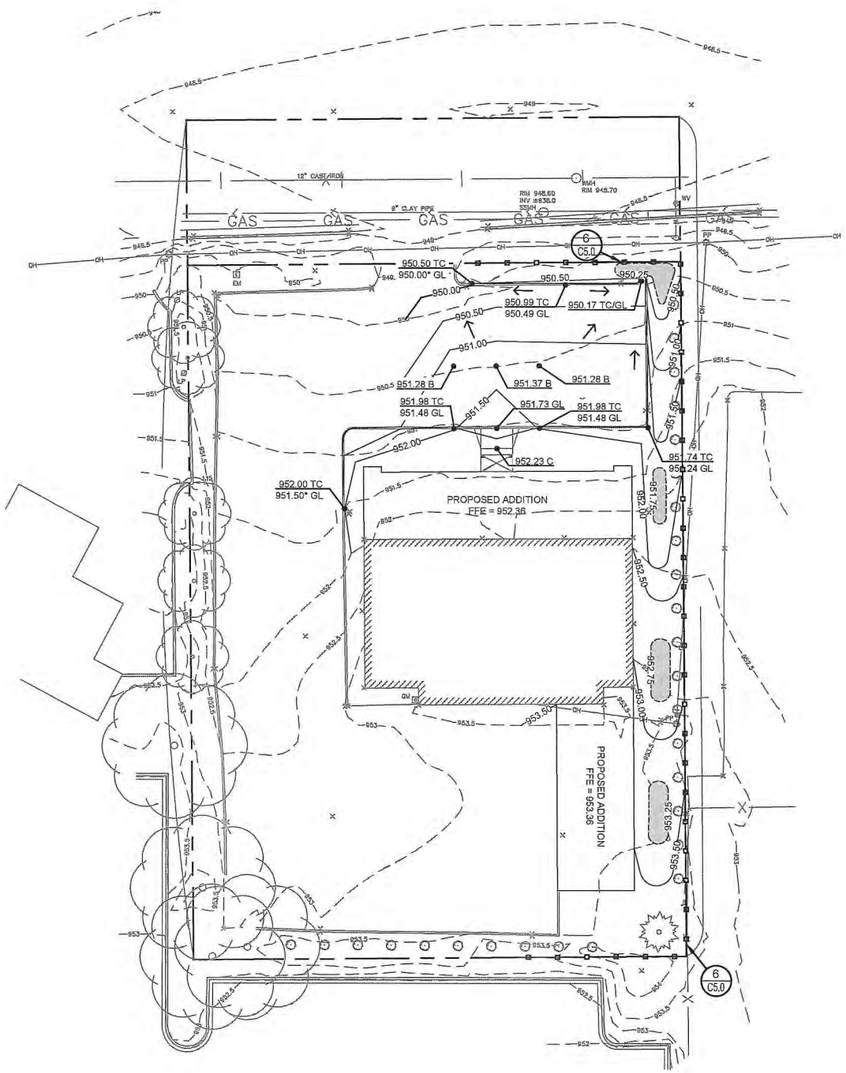

GRADING NOTES

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. Restore all disturbed areas with 4" of good quality topsoil and seed,
5. All construction shall be performed in accordance with state and local standard specifications for construction.
6. Pavement grades within ADA parking stalls and access aisles shall not exceed 2.0% in any direction.

LEGEND

- 950 — EXISTING CONTOURS
- 950 — PROPOSED CONTOURS - MAJOR INTERVAL
- 949 — PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- 2.0% — GRADE SLOPE
- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION
- CONCRETE WASHOUT STATION
- 950.00 TC / 949.50 GL — SPOT ABBREVIATIONS:
  - TC - TOP OF CURB
  - GL - GUTTER LINE
  - B - BITUMUNOUS
  - C - CONCRETE
  - EO - EMERGENCY OVERFLOW
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL (F/G)
  - (*) - EXISTING TO BE VERIFIED
- STORMWATER COLLECTION FEATURE

EROSION CONTROL NOTES

1. Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
2. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
8. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
9. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
10. All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
11. All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
12. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
13. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
14. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
15. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
16. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
17. All soils tracked onto pavement shall be removed daily.
18. All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
19. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
20. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
21. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
22. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
23. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
24. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
25. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
26. Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.

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GRADING AND EROSION CONTROL PLAN

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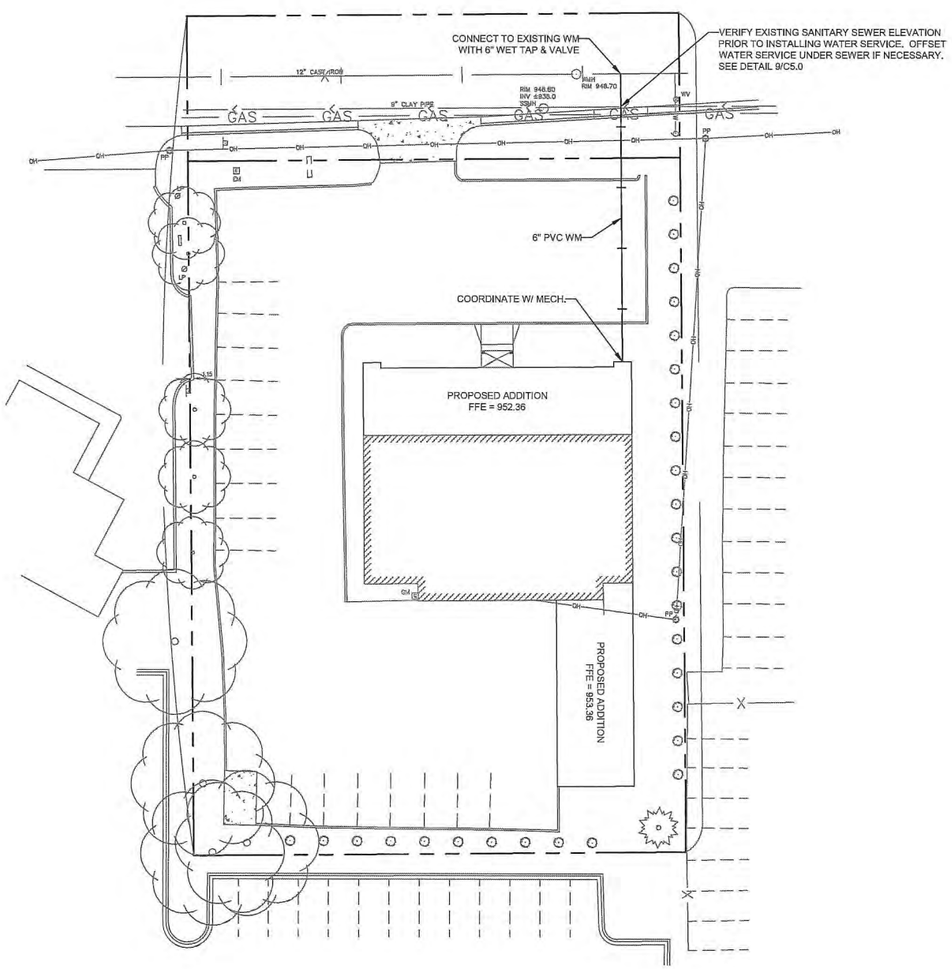

LEGEND

	STORM MANHOLE	CTV	CABLE UNDERGROUND LINE
	CATCH BASIN	OE	ELECTRIC OVERHEAD LINE
	CURB INLET	UE	ELECTRIC UNDERGROUND LINE
	FLARED END	FO	FIBER OPTIC UNDERGROUND LINE
	SANITARY MANHOLE	G	NATURAL GAS UNDERGROUND LINE
	HYDRANT	S	SANITARY SEWER PIPE
	GATE VALVE & BOX		STORM SEWER PIPE
	WATER SHUTOFF	T	TELEPHONE UNDERGROUND LINE
	LIGHT POLE	W	WATERMAIN PIPE
			DRAINTILE PIPE

UTILITY NOTES

1. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
2. All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
3. The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
4. The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
5. Storm sewer requires testing in accordance with Minnesota plumbing code 4715.2820 where located within 10 feet of waterlines or the building.
6. HDPE storm sewer piping and fittings must meet materials and installation standards per Minnesota plumbing code 4715.0420.8C(4) and 4715.0540.C including ASTM D3212 joint pressure test and ASTM C2321 installation practices. The City requires RCP pipe within the public right-of-way.
7. All RCP pipe shown on the plans shall be MN/DOT class 3.
8. Maintain a minimum of 7 ½' of cover over all water lines and sanitary sewer lines. Install water lines 18" above sanitary sewers, where the sanitary sewer crosses over the water line, install sewer piping of materials equal to watermain standards for 9 feet on both sides and maintain 18" of separation.
9. Where 7 ½' of cover is not provided over sanitary sewer and water lines, install 2" rigid polystyrene insulation (MN/DOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8' wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5', use 4" of insulation.
10. All watermain piping shall be C900 PVC pipe unless noted otherwise.
11. Pressure test and disinfect all new watermains in accordance with state and local requirements.
12. Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.

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White Bear Lake, MN 55110
651.481.9120 (f) 651.481.9201
www.larsonengr.com

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I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

First M. Last, P.E.

Date: 04.22.2016 Reg. No.: 41885

NO	ISSUE	DATE

Sheet Information

Date	04.22.2016
Job Number	15.020.1214
Drawn	NJN
Checked	MJW
Approved	MJW

Title

UTILITY PLAN

Sheet

C4.0

4/18/2016 11:17:21 AM
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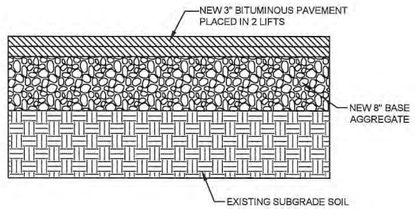
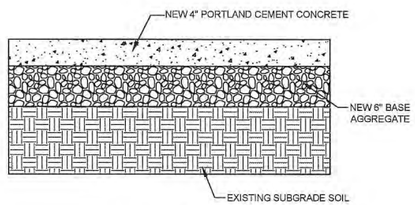


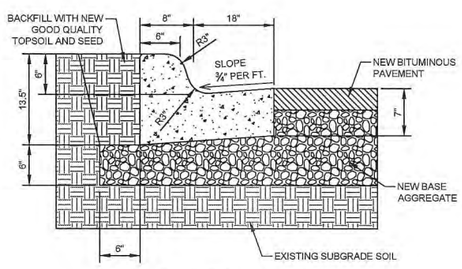
1 C5.0 BITUMINOUS PAVEMENT SECTION

NOT TO SCALE



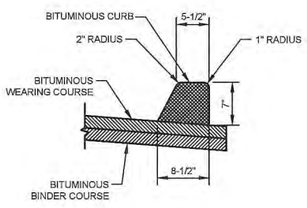
2 C5.0 CONCRETE CONSTRUCTION DETAIL

NOT TO SCALE



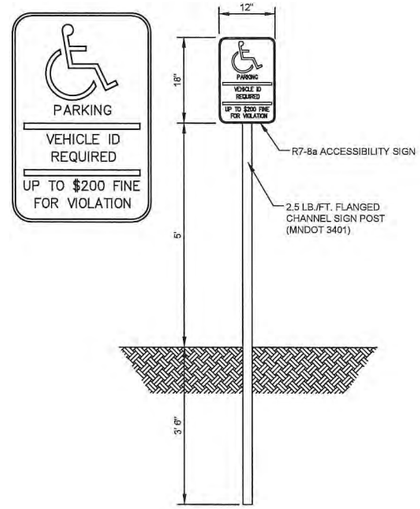
3 C5.0 B618 CONCRETE CURB & GUTTER DETAIL

NOT TO SCALE



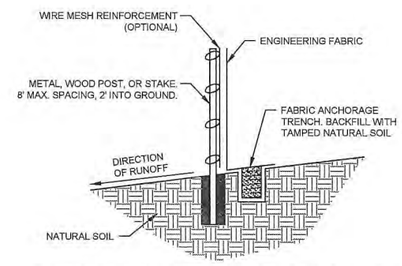
4 C5.0 BITUMINOUS CURB DETAIL

NOT TO SCALE



5 C5.0 ACCESSIBLE PARKING SIGN DETAIL

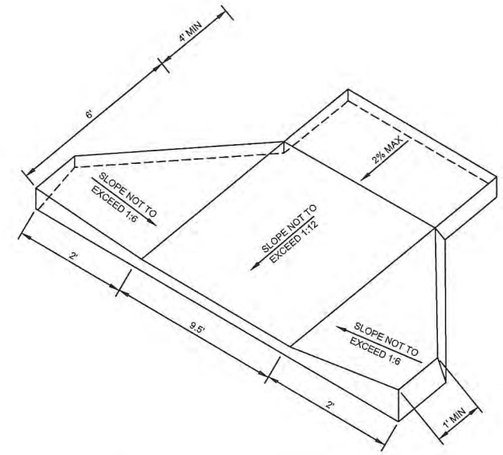
NOT TO SCALE



NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH WIRES, OR WOOD POSTS WITH STAPLES.

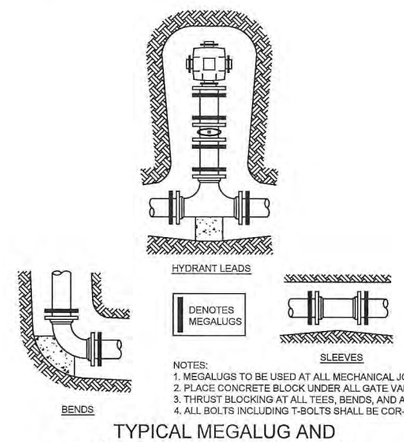
6 C5.0 SILT FENCE INSTALLATION DETAIL

NOT TO SCALE



7 C5.0 ACCESSIBLE RAMP DETAIL

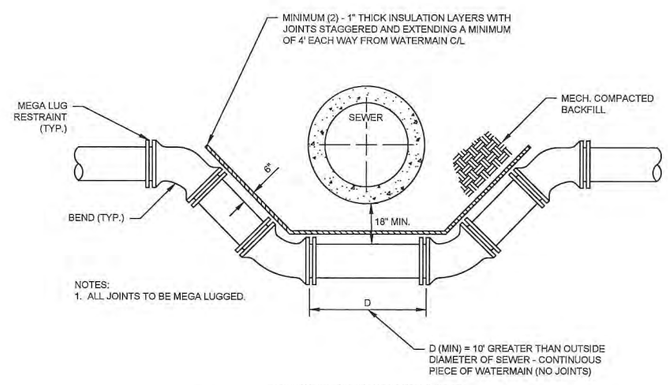
NOT TO SCALE



NOTES:
1. MEGALUGS TO BE USED AT ALL MECHANICAL JOINTS
2. PLACE CONCRETE BLOCK UNDER ALL GATE VALVES AND HYDRANTS
3. THRUST BLOCKING AT ALL TEES, BENDS, AND AT HYDRANTS
4. ALL BOLTS INCLUDING T-BOLTS SHALL BE COR-BLUE.

8 C5.0 TYPICAL MEGALUG AND THRUST BLOCK LOCATIONS

NOT TO SCALE



NOTES:
1. ALL JOINTS TO BE MEGA LUGGED.

9 C5.0 WATERMAIN/SEWER CROSSING DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION

hW2 design
3904 39th Ave South
Minneapolis, MN 55406
t 612.532.4147

ODDS & ENDS AGAIN

1080 WEST COUNTY RD E
SHOREVIEW, MN 55126

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DETAILS

Sheet

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4/18/2016 11:17:21 AM
D:\My Documents\REVIT\1080 SHOREVIEW_wiggles.rvt

Shoreview

Kathleen Castle <kcastle@shoreviewmn.gov>

1080 County Road E Building Expansion and Renovation

4 messages

Lux, Joseph <Joseph.Lux@co.ramsey.mn.us> Wed, May 11, 2016 at 11:04 AM
To: Kathleen Castle <kcastle@shoreviewmn.gov>
Cc: Tom Wesolowski <twesolowski@shoreviewmn.gov>

Hi, Kathleen:

We reviewed the renovation and expansion plans for 1080 County Road E that were provided by the City and have no objections or comments on the project. If there are plans for work on the access to the property within County Road E right of way, please refer them to Doug Heidemann to see if any permits are needed. Doug can be reached at 651-266-7186 (office) or 651-755-7747 (cell). Thank you for the opportunity to review this project.

Joe Lux

Joseph Lux

Senior Planner

Ramsey County Public Works

1425 Paul Kirkwold Drive

Arden Hills, MN 55112-3933

651-266-7114

http://www.ramseycounty.us/

RAMSEY COUNTY
Working with you to enhance our quality of life

Kathleen Castle <kcastle@shoreviewmn.gov> Thu, May 19, 2016 at 10:40 AM
To: "Lux, Joseph" <Joseph.Lux@co.ramsey.mn.us>

Joe,

Our code requires parking lot screening along roadways. The existing lot is about 6-feet from the CR E easement. Would the County permit some sort of low growing plant materials in the easement for screening - provided there is not traffic visibility issues?

Kathleen

Kathleen Castle
City Planner
City of Shoreview
651-490-4682
kcastle@shoreviewmn.gov

[Quoted text hidden]

Lux, Joseph <Joseph.Lux@co.ramsey.mn.us> Thu, May 19, 2016 at 1:04 PM
To: Kathleen Castle <kcastle@shoreviewmn.gov>

Yes- planting in the right of way is acceptable. I'm not sure about underground utility conflicts there, but low-growing shrubs are generally fine. There are overhead power lines there, with cable and phone lines attached. There is also evidence of a water main on the south side of the road- there's a hydrant east of the parking lot. If the developer has questions, the contact for them is Doug Heidemann, 651-266-7186 (office) or 651-755-7747 (cell).

On an unrelated note, it's the end of an era at Washington County- tomorrow is Dennis O'Donnell's last day, though there are rumors he's planning on calling in sick tomorrow, which would fit ☺.

Joe Lux

Joseph Lux

Senior Planner

Ramsey County Public Works

1425 Paul Kirkwold Drive

Arden Hills, MN 55112-3933

651-266-7114

http://www.ramseycounty.us/

RAMSEY COUNTY
Working with you to enhance our quality of life

From: Kathleen Castle [mailto:kcastle@shoreviewmn.gov]
Sent: Thursday, May 19, 2016 10:40 AM
To: Lux, Joseph <Joseph.Lux@CO.RAMSEY.MN.US>
Subject: Re: 1080 County Road E Building Expansion and Renovation

[Quoted text hidden]

Andrea Hammel Wollak

From: Patrick Hughes <PHughes@ricecreek.org>
Sent: Friday, March 25, 2016 1:40 PM
To: Andrea Hammel Wollak
Subject: RE: 1080 Co Rd E, Shoreview Project

Flag Status: Flagged

Good Afternoon Andrea,

Based on your description of the project, and the supplied site plans, it has been determined that a RCWD permit will not be required for the building expansion project at 1080 County Road E in Shoreview.

The proposed project will disturb an area less than 10,000 square feet. Additionally, no wetland impacts or floodplain fill are proposed; therefore a RCWD, permit is not required.

Please note that this decision does not indemnify you from enforcement action if the scope of the project changes, or a violation of District rules or other laws is found to have occurred as a result of this project. The information you have provided serves as a notice of intent. Please take care to ensure that no sediment is deposited down gradient of the site, and that any soils disturbed during construction are stabilized within 14 days of project completion. Permits may be required from other agencies including, but not limited to, the City of Shoreview.

Thank You

Patrick Hughes
Regulatory Assistant
Rice Creek Watershed District
4325 Pheasant Ridge Dr. NE, #611
Blaine, MN 55449-4539
Ph: 763-398-3080
phughes@ricecreek.org

RCWD
RICE CREEK WATERSHED DISTRICT

Please consider following the RCWD on Facebook.

From: Andrea Hammel Wollak [mailto:ahwollak@hw2design.com]
Sent: Thursday, March 24, 2016 4:32 PM
To: Patrick Hughes <PHughes@ricecreek.org>
Subject: RE: 1080 Co Rd E, Shoreview Project

Hello Patrick

I am guestimating about 2500 SF disturbed in the front and 2,800 SF in the back. If we decide to remove additional paved area to make an impervious paving space it would be approx. 2,400 SF

From: Ben Stephens
3600 Lexington Avenue N
Shoreview

May 15, 2016

To: Shoreview Planning Commission

Re: Expansion and Remodel of Odds and Ends – 1080 Cty Road E

Based on the information which I, like many others have received, I certainly encourage the Shoreview Planning Commission to put their Stamp of Approval on this request. And accordingly the City Council should also approve this request.

Planning Commission, please be advised to refrain from micro-redesigning this project, I.E. the shade of brick, the brightness of the proposed exterior lighting and all the other details that many times you feel a need to question or change, in order to justify your participating on the City Planning Commission.

Planning Commission. Have any of you taken the time to actually visit this site, IN PERSON. If Not, I would highly recommend that you do so AND visit ALL sites that are seeking your approval.

Sincerely,

Ben Stephens III

Retired Economic Development Commission Member

Election Participant in Previous City Council Elections

Owner, Stephens' Art & Frame, a Shoreview business for 47 years

Owner, Lexington Crossing and Lexington Downs, Shoreview Retail Strip Malls for 31 Years.

And Shoreview Resident for 70 years

Kathleen Castle <kcastle@shoreviewmn.gov>

Public Notice-Request for comment

1 message

Mike Schoonover <mschoonover@sbwinc.com> Fri, May 13, 2016 at 11:56 AM
To: "SLALIBERTE@IPRODUCTION.COM" <SLALIBERTE@iproduction.com>
Cc: "kcastle@shoreviewmn.gov" <kcastle@shoreviewmn.gov>

Good morning Steve.

I received the public notice today from Kathleen and wanted you to know you have our support for your project.

I think it looks great and cannot wait to see it when it is done.

If you need anything from us, please let me know.

Congratulations and good luck.

Take care!

Mike

Mike Schoonover

Schoonover Bodyworks & Glass

Phone 651.789.4387

Email mschoonover@sbwinc.com

Website schoonoverbodyworks.com

MOTION
TO APPROVE SITE AND BUILDING PLAN REVIEW APPLICATION
STEPHEN LALIBERTE, 1080 COUNTY ROAD E

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend the City Council approve the Site and Building Plan Review application submitted by Stephen Laliberte, 1080 County Road E, for the expansion and remodeling of the existing commercial building. Said approval is subject to the following:

1. This approval permits the development of the expansion of the commercial building as identified in the approved plans.
2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
4. The items identified in the memo from the City Engineer must be addressed prior to the issuance of a building permit.
5. The applicant shall explore options for landscape screening along the north side of the parking lot.
6. Prior to the installation of any signs, a sign permit is required by the City. A free-standing sign must be setback a minimum of 5-feet from the road easement.
7. A permit from Ramsey County must be received for any work in the County Road E right-of-way.
8. The trash/recycling receptacle shall be contained in an enclosure that is designed with building materials that compliment the building.
9. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

This approval is based on the following findings of fact:

1. The existing and proposed land use is consistent with the designated commercial land use in the Comprehensive Plan.
2. The expansion of the commercial building for office and retail use is compatible with the adjoining land uses and will not have a significant adverse impact on surrounding properties.
3. The reinvestment in the property supports the City's land use and economic development goals.
4. The development plans comply with the standards of the C2, General Commercial District.

VOTE:

AYES:

NAYS:

T:\2016 Planning Cases Files\2616-16-15 1080 County Rd E –Laliberte\pcmotion